

SECTION 22, TOWNSHIP 31 N., RANGE 5 E., W.M.

**PROJECT INFO:**

AIRPORT PROTECTION DISTRICT SUBDISTRICT C  
 WATER SERVICE: CITY OF ARLINGTON  
 SEWER SERVICE: CITY OF ARLINGTON  
 FIRE DISTRICT: CITY OF ARLINGTON

**PROJECT AREA:**  
 PHASE 1 LOT 20 66,020 S.F.  
 PHASE 2 LOT 21 66,297 S.F.  
 PHASE 3 LOT 22 52,457 S.F.

**SITE ADDRESS:** 6300-6400 180TH STREET NE  
 ARLINGTON, WA 98223

**ZONING/COMP. PLAN:** G.I.- GENERAL INDUSTRIAL  
**PROPOSED LAND USE:** G.I.- GENERAL INDUSTRIAL  
**DATUM:** N.A.V.D. 88

**PARKING REQUIREMENT:**

PER CITY OF ARLINGTON (SEE SHEET 7)

MANUFACTURING (4,120) 1 SPACE / 2 EMPLOYEES  
 STORAGE (10,230) 1 SPACE / 10,000 S.F.  
 OFFICE (3,120) 1 SPACE / 800 S.F.

**LANDSCAPE SCREENING:** PER AMC 20.76-1

**PARKING LANDSCAPING:** PER AMC 20.76-1

**BUILDING HEIGHT:** 50 FEET

**BUILDING SETBACKS:** 5 FEET

**TAX ACCOUNT NUMBERS:** LOT 20 31052200404800  
 LOT 21 31052200404900  
 LOT 22 31052200405000

**LOT COVERAGE TABLE**

LOT 20 AREA 66,020 S.F.  
 BUILDING 1 23,400 S.F. \* 31,200 S.F.  
 ASPHALT 39,302 S.F.  
 TOTAL IMPERVIOUS 62,702 S.F. = 95.0%

LOT 21 AREA 66,297 S.F.  
 BUILDING 2 30,000 S.F.  
 ASPHALT 34,487 S.F.  
 TOTAL IMPERVIOUS 64,487 S.F. = 97.4%

LOT 22 AREA 52,457 S.F.  
 BUILDING 3 30,000 S.F.  
 ASPHALT 21,838 S.F.  
 TOTAL IMPERVIOUS 51,838 S.F. = 96.2%

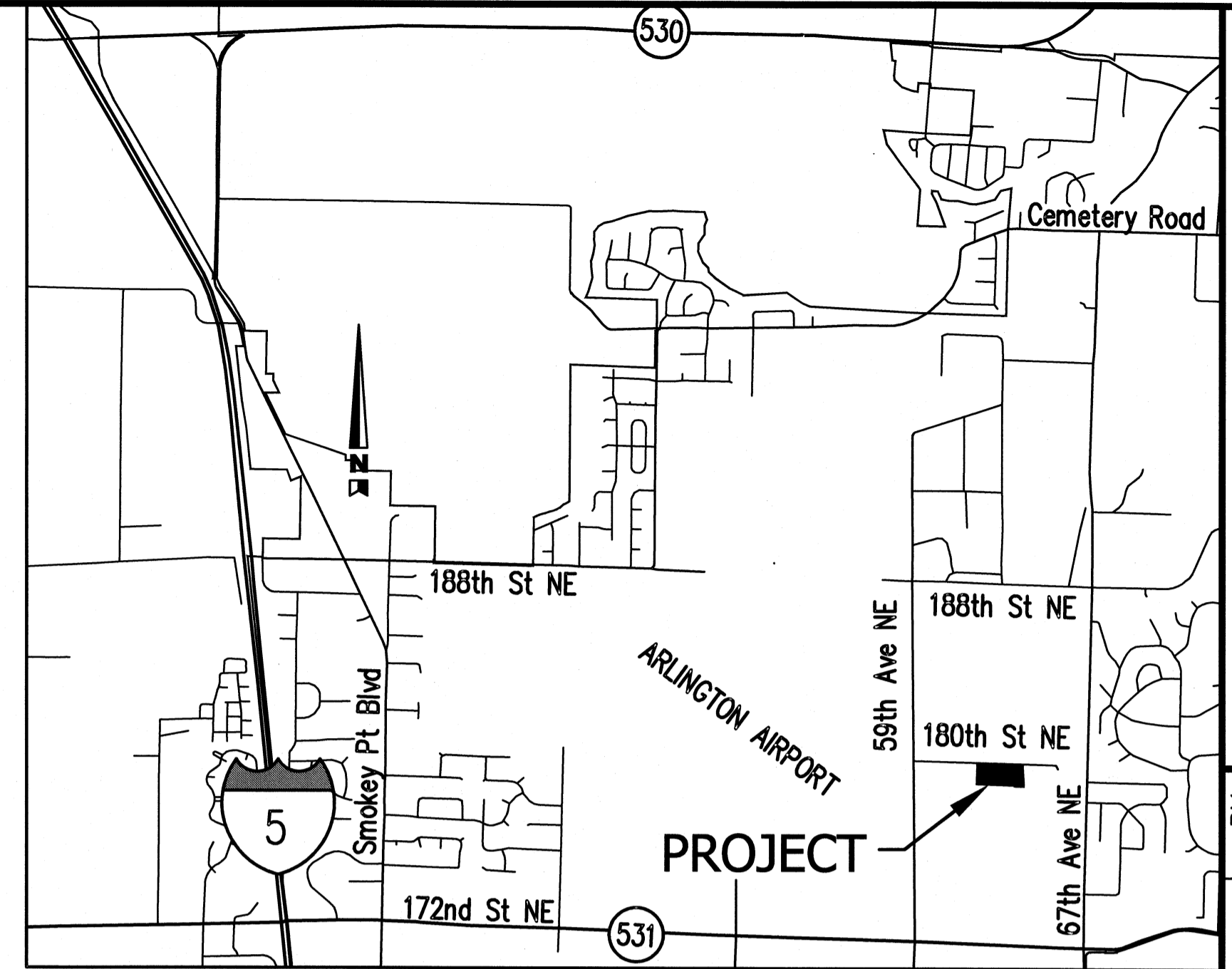
**BUILDING USE**

BUILDING 1  
 OFFICE 500 S.F.  
 MANUFACTURING 10,600 S.F.  
 WAREHOUSE 12,000 S.F.

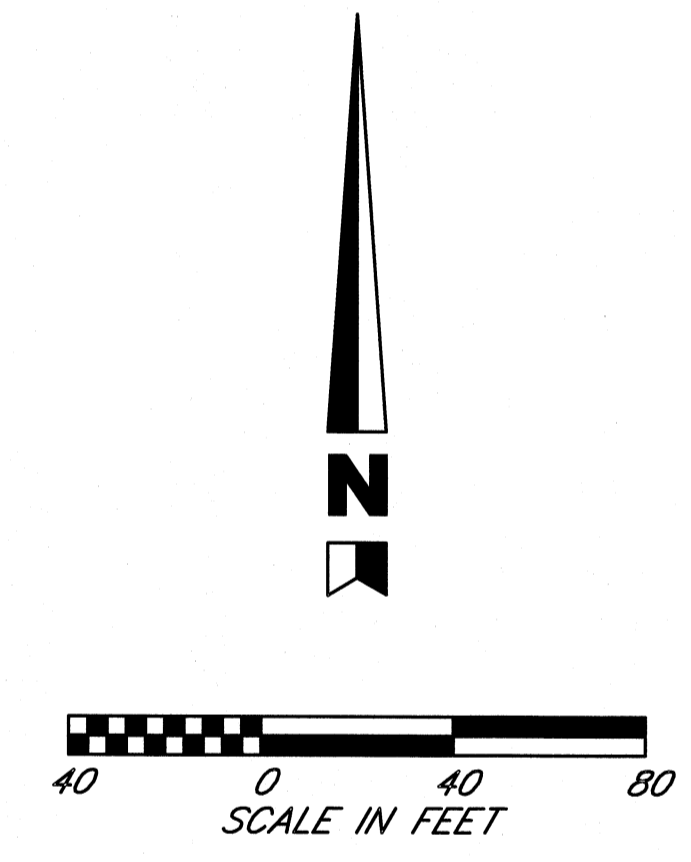
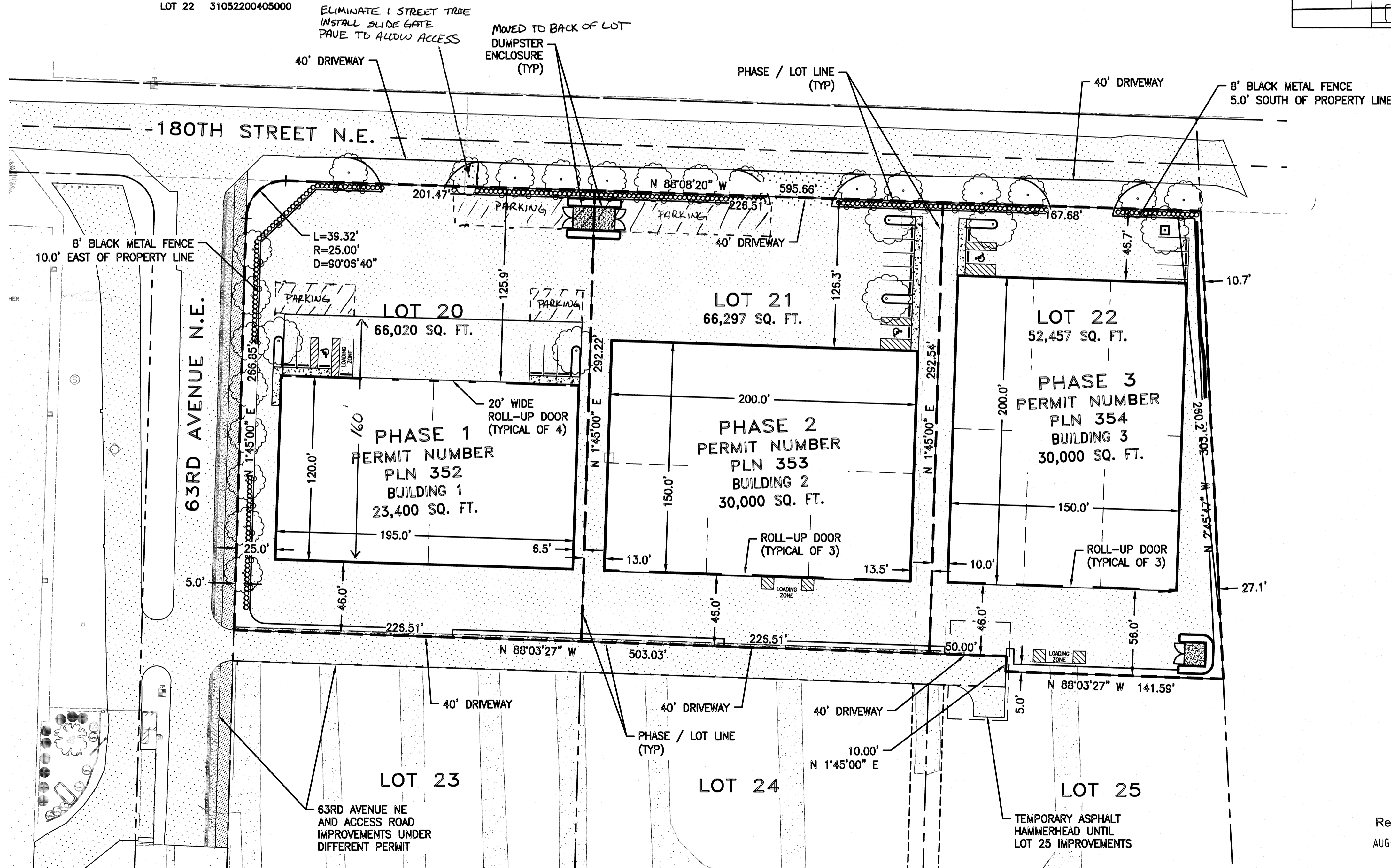
BUILDING 2  
 MANUFACTURING 16,000 S.F.  
 WAREHOUSE 14,000 S.F.

BUILDING 3  
 WAREHOUSE 30,000 S.F.

SHEET INDEX	
SHEET NAME	SHEET #
COVER / SITE PLAN	1
EXISTING CONDITIONS / SWPPP	2
GRADING & DRAINAGE PLAN	3
DRAINAGE DETAILS	4
WATER & SEWER PLAN	5
WATER & SEWER DETAILS	6
LANDSCAPING, LIGHTING & PARKING PLAN	7



**VICINITY MAP**  
 N.T.S.



**LEGAL DESCRIPTION:**

LOTS 20, 21 & 22 OF CITY OF ARLINGTON BINDING SITE PLAN RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NUMBER 201112205001.

**NOTES:**

- CONDITIONS OF BINDING SITE PLAN RECORDED WITH SNOHOMISH COUNTY SHALL BE INCLUDED BY REFERENCE HEREIN.

**DEVELOPER:**

REDLINED INDUSTRIAL PARK, LLC  
 11517 122ND STREET N.E.  
 LAKE STEVENS, WA 98258  
 (360) 658-0862

**CONTACT / ENGINEER:**

HMA ENGINEERING  
 KELLI HALE, PE  
 307 N OLYMPIC AVE, SUITE 209  
 ARLINGTON, WA 98223  
 (360) 474-4824

CONSTRUCTION DRAWING REVIEW  
 ACKNOWLEDGMENT

THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATIONS WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSDOT HYDRAULIC PROJECT APPROVAL (SFP), INSIDE NOTICE OF INTENT (INOI), ANY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT.

Received  
 AUG 01 2018

By: *Kelli Hale*  
 City Engineer

DATE: 8/31/18  
 THIS APPROVAL VALID FOR 18 MONTHS

REDLINED INDUSTRIAL PARK  
 CITY OF ARLINGTON  
 SITE PLAN

2017004

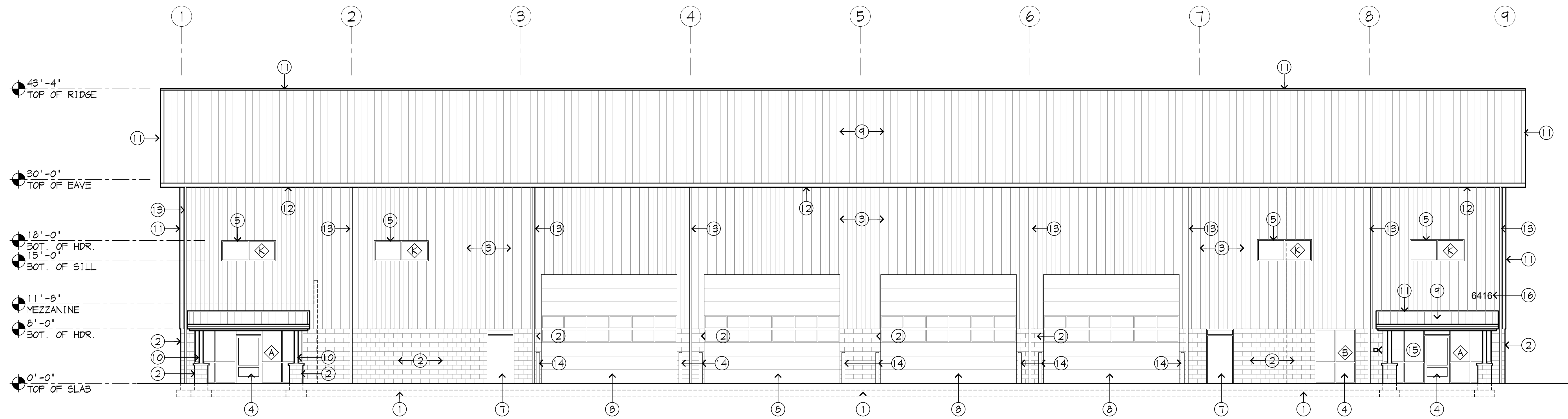
1 OF 7

**ENGINEERING**  
 307 N Olympic Avenue, Suite 209  
 P: 360.474.4824 F: 425.568.1245

DESIGNED BY: KSH  
 DRAWN BY: KSH/JSM

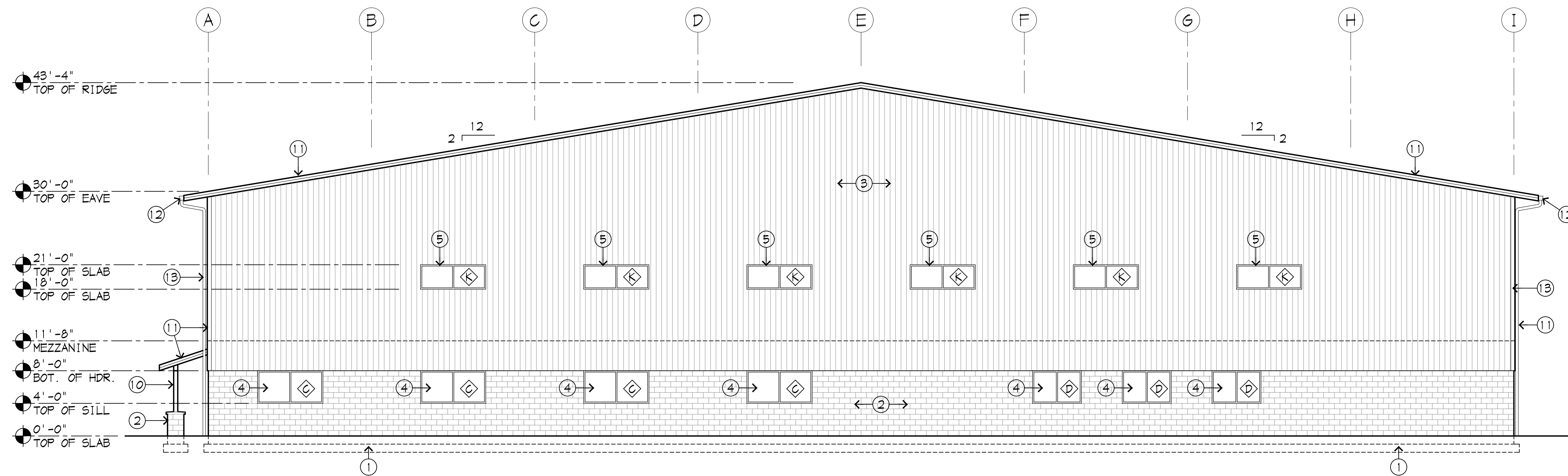
DATE	NO.	REVISION

Plotfile: May 23, 2018 - 1:05pm Jon Morris D:\Civil 3D Projects\shate AAMP Redlined\dwg\REDLINE INDUSTRIAL PARK - 2-1-18.dwg Layout Name: 1 COVER SITE PLAN  
 Last Saved By: Jon Morris May 23, 2018 - 1:03pm



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

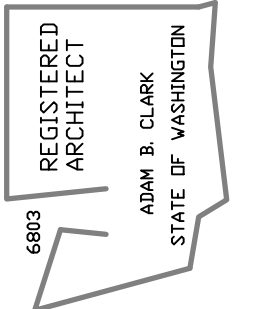
ELEVATION NOTES

1. FOUNDATION PER STRUCTURAL DRAWINGS.
2. CONCRETE MASONRY UNITS. GROUND FACE. COLOR - CHARCOAL.
3. METAL WALL PANELS. COLOR - GRAY.
4. STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1.
5. VINYL FLANGE WINDOW W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1.
6. STOREFRONT ENTRY DOOR. COLOR - DARK BRONZE ANOD. SEE DOOR SCHEDULE DWG A5.1.
7. HOLLOW METAL DOOR & FRAME. COLOR - GRAY. SEE DOOR SCHEDULE DWG. A5.1.
8. SECTIONAL OVERHEAD DOOR. COLOR - GRAY. SEE DOOR SCHEDULE DWG. A5.1.
9. METAL ROOF PANELS. COLOR: RED.
10. WOOD COLUMN PER STRUCT. COLOR: RED.
11. PREFINISHED METAL FLASHING. COLOR: RED.
12. PREFINISHED METAL GUTTER. COLOR: RED.
13. 4" DIA. SCHEDULE 40 PVC DOWNSPOUT. COLOR: RED.
14. PIPE GUARD. SEE DETAIL 1/A.2.
15. FIRE DEPARTMENT KEY BOX WITH BUILDING ACCESS KEYS. CONTACT FIRE DISTRICT #1 AT (425)551-1212 TO OBTAIN.
16. 12" HIGH ADDRESS LETTERS. COLOR TO CONTRAST WITH BACKGROUND COLOR. VERIFY ADDRESS WITH CITY PRIOR TO FABRICATION.

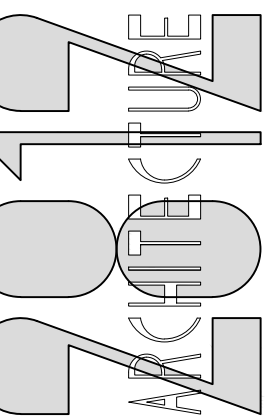
GLAZING CALCULATIONS:

GROSS WALL AREA	=	24,848SF
TOTAL GLAZING AREA	=	1,069SF
1,069SF / 24,848 x 100 = 4.3% GLAZING		

Date:	10 NOV 17	PRELIMINARY PLANS & ELEVATIONS
	05 JAN 18	ISSUE FOR DESIGN REVIEW
	20 APR 18	ADD 40' LENGTH & 10' HEIGHT TO BLDG.
	31 MAY 18	PROVIDE ADDITIONAL PARKING ALONG STREET
	21 AUG 18	BUILDING PERMIT - SHELL ONLY
	02 OCT 18	BUILDING PERMIT - TENANT IMPROV.



2812 Colby Avenue  
Everett WA 98201  
(425) 252-2153 P  
www.2812architecture.com



A New Industrial Building for:  
**REDLINED INDUSTRIAL PARK - BUILDING 1**  
6416 - 180th Street NE  
Arlington, Washington 98223

Contains:  
BUILDING ELEVATIONS