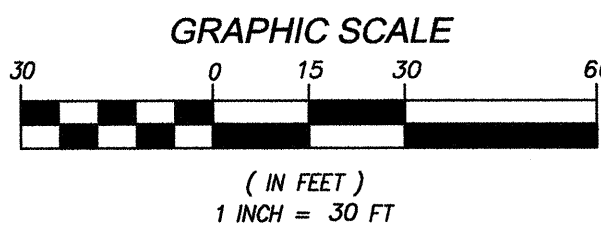
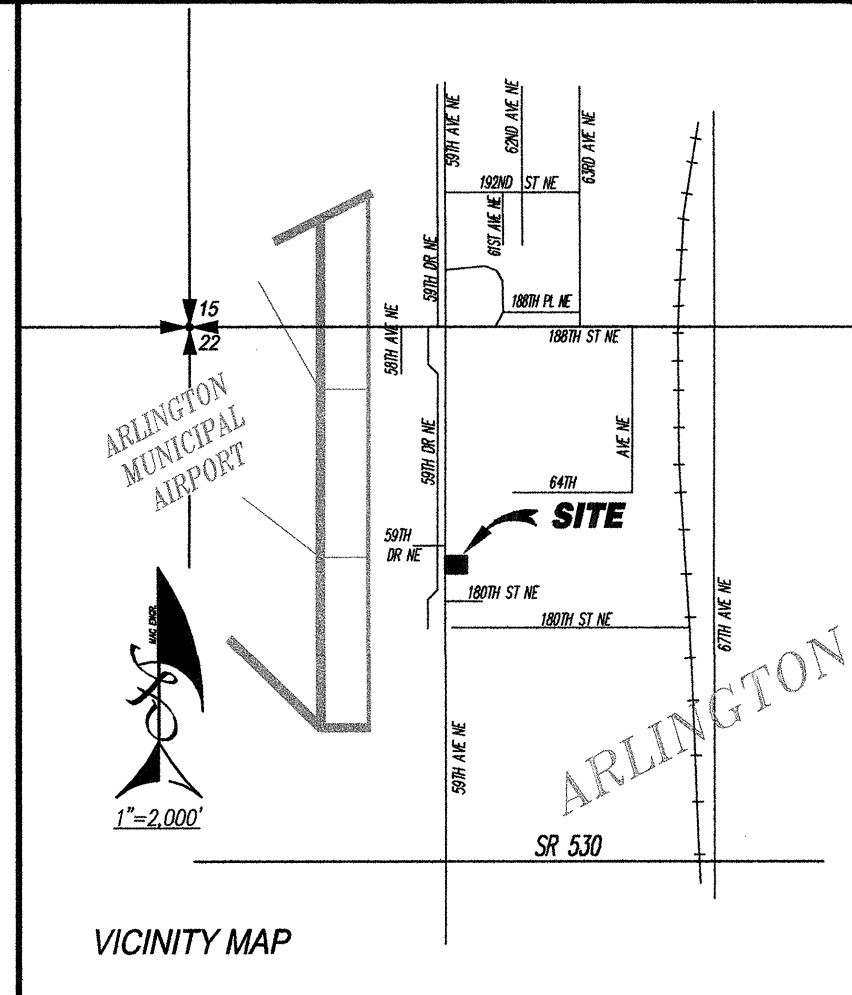
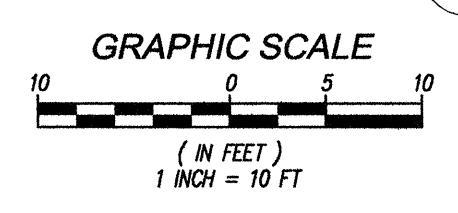


SECTION 22, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., SNOHOMISH COUNTY, WA



DATUM: NAVD 88
 BENCH: TBM A136-51-0 N. BOLT TOP FLANGE HYDRANT
 ELEV.=138.49
 BASIS OF BEARING: ASSUMED MAGNETIC NORTH



LEGAL DESCRIPTION:
 PARCEL B OF CITY OF ARLINGTON SHORT PLAY RECORDED UNDER AUDITOR'S FILE NO. 9811055002, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

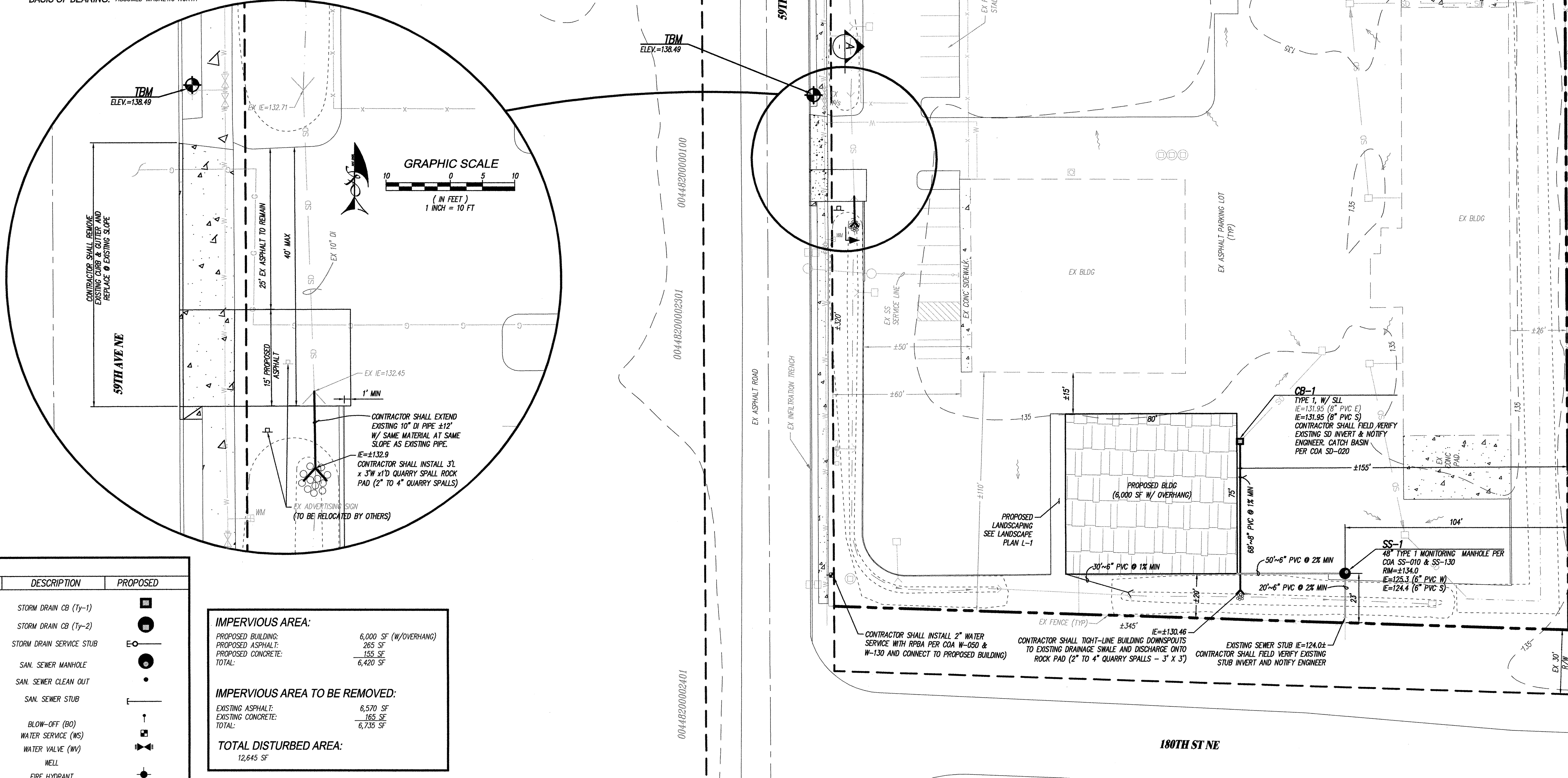
SITE DATA:
 TAX PARCEL NO.: 31052200102200
 SITE ADDRESS: 250 AC 18021 59TH AVE NE, ARLINGTON
 TOTAL SITE AREA: 2.59 AC
 EXISTING/PROPOSED ZONING: LI (LIGHT INDUSTRIAL)
 WATER DISTRICT: CITY OF ARLINGTON
 SEWER DISTRICT: CITY OF ARLINGTON
 SCHOOL DISTRICT: ARLINGTON DIST #16
 FIRE DISTRICT: CITY OF ARLINGTON

OWNER/APPLICANT: W/LANDER PROPERTY C/O DUNGENESS GEAR WORKS INC. 12800 HWY 59 S EVERETT, WA 98204

CONTACT: MAC ENGINEERING, LLC ELDEN D. MCCALL P.E. P.O. BOX 177 SILVANA, WA 98287 TEL: 360-652-5820 E-MAIL: macengineering@frontier.com

LANDSCAPE ARCHITECT: ECCOCODESIGN LANDSCAPE ARCHITECTURE AND PLANNING 505 S 151 ST, SUITE B MOUNT VERNON, WA 98223 TEL: 425-435-5551 WWW.ECCOCODESIGN.COM

SURVEYOR: CASCADE SURVEY & ENGINEERING, INC. P O BOX 326 ARLINGTON WA 98223 TEL: 425-435-5551 WWW.CASCADDESURVEYING.COM



IMPERVIOUS AREA:

PROPOSED BUILDING:	6,000 SF (W/OVERHANG)
PROPOSED ASPHALT:	265 SF
PROPOSED CONCRETE:	155 SF
TOTAL:	6,420 SF

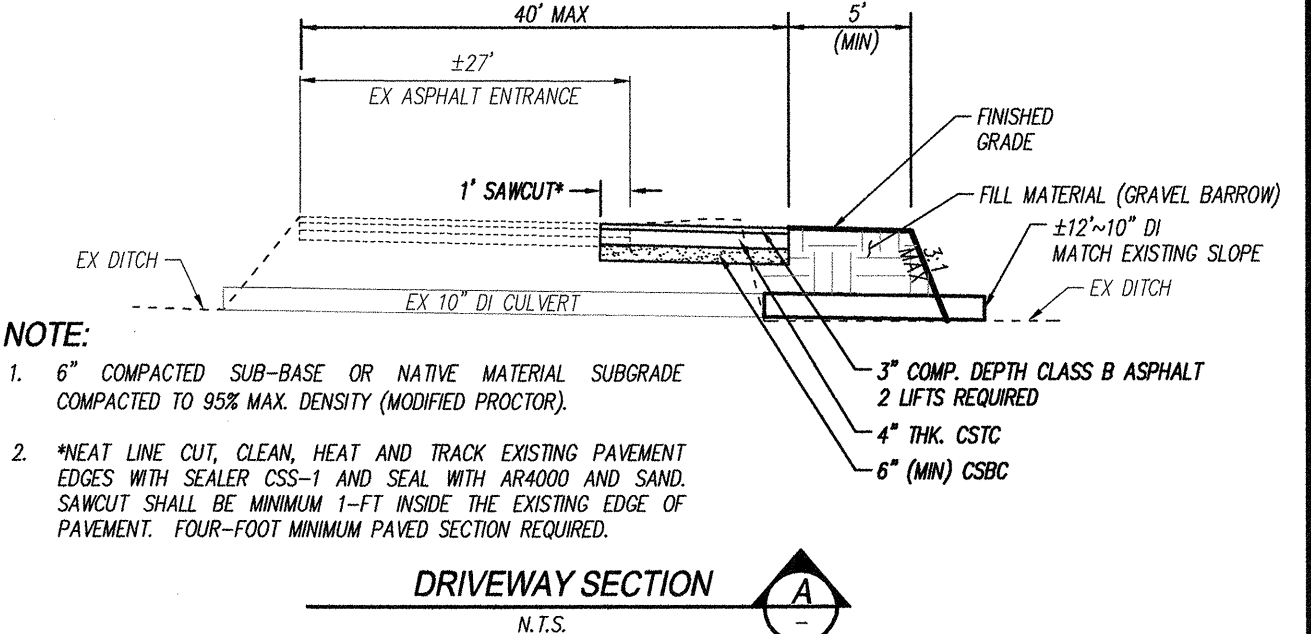
IMPERVIOUS AREA TO BE REMOVED:

EXISTING ASPHALT:	6,570 SF
EXISTING CONCRETE:	165 SF
TOTAL:	6,735 SF

TOTAL DISTURBED AREA:
12,645 SF

ABBREVIATIONS TABLE

(A/P) = ANGLE POINT	(MCSE) = MIN CRAWL SPACE ELEV.
(BC) = BOTTOM OF CURB-F/L	(OWS) = OIL WATER SEPARATOR
(BW) = BOTTOM OF WALL	(PC) = POINT OF CURVATURE
(BL) = BLOWOFF	(PI) = POINT OF INTERSECTION
(BRK) = BREAK/GRADE BREAK	(PL) = PROPERTY LINE
(CB) = CATCH BASIN	(PP) = POWER/UTILITY POLE
(CBU) = COLLECTION BOX UNITS	(PT) = POINT OF TANGENCY
(CE) = CULVERT END	(PMT) = PAVEMENT
(CL) = CENTER LINE	(RE) = RIM ELEVATION
(CO) = CLEANOUT	(SD) = STORM DRAIN
(CSBC) = CR. SURF'G BASE COURSE	(SLL) = SOLID LOCKING LID
(CS2C) = CR. SURF'G TOP COURSE	(SS) = SANITARY SEWER
(C) = CENTER	(SSMH) = SEWER MANHOLE
(DIP) = DUCTILE IRON PIPE	(STR) = STRUCTURE
(DRNG) = DRAINAGE	(TBR) = TO BE REMOVED
(EL) = ELEVATION	(T) = TOP OF CURB
(EA) = EDGE OF ASPHALT	(T2) = TROU CURB INLET
(EOG) = EDGE OF GRAVEL	(T) = TOP OF BANK
(ESMT) = EASEMENT	(TW) = TOP OF WALL
(EX) = EXISTING	(TYP) = TYPICAL
(GL) = GUTTER LINE OF CURB	(TY-1) = TYPE-CB/MH
(GR) = GRADE	(TY-1) = TYPE 1 CB
(GRV) = GRAVEL	(YD) = YARD DRAIN
(FH) = FIRE HYDRANT	(V) = VAND GRATE
(FL) = FLOW LINE	(W) = WATER/WATER MAIN
(FOC) = FACE OF CURB	(WCR) = WHEEL CHAIR RAMP
(I) = INVERT ELEVATION	(WM) = WATER METER
(INT) = INTERSECTION	(WV) = WATER VALVE
(L) = LOT LINE	(L/A) = 1/4" PARTS DELTA
(MB) = MAILBOX	



LEGEND

EXISTING	DESCRIPTION	PROPOSED
[Symbol]	STORM DRAIN CB (Ty-1)	[Symbol]
[Symbol]	STORM DRAIN CB (Ty-2)	[Symbol]
[Symbol]	STORM DRAIN SERVICE STUB	[Symbol]
[Symbol]	SAN. SEWER MANHOLE	[Symbol]
[Symbol]	SAN. SEWER CLEAN OUT	[Symbol]
[Symbol]	SAN. SEWER STUB	[Symbol]
[Symbol]	BLOW-OFF (BO)	[Symbol]
[Symbol]	WATER SERVICE (WS)	[Symbol]
[Symbol]	WATER VALVE (WV)	[Symbol]
[Symbol]	WELL	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	UTILITY POLE (PP, UP)	[Symbol]
[Symbol]	TREE	[Symbol]
[Symbol]	SHRUB	[Symbol]
[Symbol]	PAVEMENT (EOA)	[Symbol]
[Symbol]	CONCRETE (EOC)	[Symbol]
[Symbol]	GRAVEL (EOG)	[Symbol]
[Symbol]	BLDG SETBACK LINE (BSBL)	[Symbol]
[Symbol]	PROPERTY LINE (P/L)	[Symbol]
[Symbol]	EX R/W	[Symbol]
[Symbol]	RIGHT OF WAY (R/W)	[Symbol]
[Symbol]	ROAD CENTER (CTR) LINE	[Symbol]
[Symbol]	FENCE LINE	[Symbol]
[Symbol]	DRAINAGE FLOW PATTERNS	[Symbol]
[Symbol]	SECTION CORNER	[Symbol]
[Symbol]	SOL LOG	[Symbol]
[Symbol]	TEMPORARY BENCHMARK	[Symbol]

- GENERAL NOTES:**
- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE CITY OF ARLINGTON PUBLIC WORKS STANDARDS AND SPECIFICATIONS, AND THE CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
 - IT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR TO OBTAIN A GRADING PERMIT, RIGHT-OF-WAY PERMIT, AND UTILITY PERMITS FROM THE CITY. ALL REQUIRED PERMITS FROM OTHER AGENCIES MUST ALSO BE OBTAINED BY THE DEVELOPER/CONTRACTOR.
 - PRIOR TO ANY CONSTRUCTION ACTIVITY THE DEVELOPER/CONTRACTOR SHALL ATTEND A PRECONSTRUCTION CONFERENCE WITH THE CITY. THE CONTRACTOR SHALL SCHEDULE THE PRE-CONSTRUCTION CONFERENCE BY CALLING (360) 403-5500. PRIOR TO SCHEDULING, THE CONTRACTOR MUST SUBMIT AND RECEIVE APPROVAL FOR THE TRAFFIC CONTROL PLAN, CITY PERMITS, TEMPORARY EROSION AND SEDIMENT CONTROL PLAN, PERFORMANCE BOND, COPY OF OTHER AGENCY PERMITS, A COPY OF THE CONTRACTOR'S LICENSE, AND PROOF OF INSURANCE COVERAGE.
 - A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHEN CONSTRUCTION IS IN PROGRESS.
 - ALL SITE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE PRIOR APPROVAL FROM THE OWNER, THE CITY ENGINEER, AND OTHER APPROPRIATE PUBLIC AGENCIES.
 - ALL OF THE LOCATIONS OF THE EXISTING UTILITIES SHOWN IN THE PLANS HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHALL THEREFORE BE CONSIDERED APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS.
 - THE CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATE SERVICE (1-800-424-5555 OR 811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - INSPECTION AND ACCEPTANCE OF ALL WORK WILL BE ACCOMPLISHED BY REPRESENTATIVES OF THE CITY OF ARLINGTON. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS, ALLOWING PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE REMOVAL AND REPLACEMENT OF ITEMS THAT DO NOT MEET CITY STANDARDS OR WERE CONSTRUCTED WITHOUT INSPECTION.
 - THE CONTRACTOR SHALL KEEP THE ON-SITE AND OFF-SITE STREETS CLEAN AT ALL TIMES BY CLEANING WITH A SWEEPING AND/OR VACUUM TRUCK. WASHING OF THESE STREETS WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY INSPECTOR.
 - THE CONTRACTOR SHALL MAINTAIN TWO (2) SETS OF "AS-BUILT" PLANS SHOWING ALL FIELD CHANGES AND MODIFICATIONS IMMEDIATELY AFTER CONSTRUCTION COMPLETION. THE CONTRACTOR SHALL DELIVER BOTH COPIES OF RED-LINED PLANS TO THE CITY. THE CITY WILL FORWARD ONE OF THE COPIES TO THE DESIGN ENGINEER.

- NOTES:**
- THE EXISTING DEVELOPED SITE IS PRIMARILY LEVEL.
 - SOILS ON SITE AREA ARE LYNNWOOD LOAMY SAND; HYDROLOGIC SOIL GROUP IS "A".
 - STORM WATER FROM THE PROPOSED DRIVEWAY ENTRANCE WILL SHEET FLOW TO THE SOUTH AND DISCHARGE INTO THE EXISTING DRAINAGE SWALE AS SHOWN IN PLAN VIEW.
 - CONTRACTOR SHALL TIGHT-LINE ROOF DOWN SPOUTS FROM THE EASTERN PORTION OF THE BUILDING TO CB-1 WITH 6" PVC.
 - CONTRACTOR SHALL TIGHT-LINE ROOF DOWN SPOUTS FROM THE WESTERN PORTION OF THE BUILDING TO THE SOUTH AND DISCHARGE INTO THE EXISTING DRAINAGE SWALE AS SHOWN IN PLAN VIEW.
 - THE CONTRACTOR SHALL INSTALL 2" TO 4" QUARRY SPALL ROCK DISPERSION PADS AT DISCHARGE LOCATIONS (3' BY 3' BY 1' DEEP).
 - CONTRACTOR WILL TAKE CARE IN REMOVING EXISTING VEGETATED AREAS AS TO NOT REMOVE TOP SOIL OR VEGETATION OUTSIDE OF THE CLEARING LIMITS OR POLLUTION GENERATING IMPERVIOUS SURFACE (PGIS) PERIMETER. IF SOILS ARE REMOVED OUTSIDE OF THE BUILDING OR PDS PERIMETER, THEN THE CONTRACTOR WILL RESTORE AREAS TO MEET ARLINGTON CITY STANDARDS AND DOE SMWMM (2005).
 - A ROCK CONSTRUCTION ENTRANCE IS NOT REQUIRED.

CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT

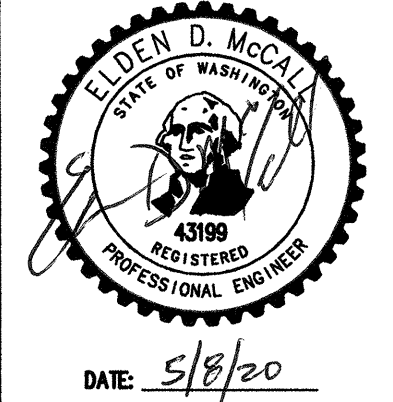
THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATIONS WHICH MAY INCLUDE, BUT NOT LIMITED TO, WISDFW HYDRAULIC PROJECT APPROVAL (HPA), WISDFW NOTICE OF INTENT (NOI), ANY CORP OF ENGINEERS FULL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT.

BY: _____
 CITY ENGINEER

DATE: _____
 THIS APPROVAL VALID FOR 18 MONTHS

MAC ENGINEERING, LLC

P.O. BOX 177, SILVANA, WA 98287
 TEL: (360) 652-5820
 EMAIL: macengineering@frontier.com



PROJECT SURVEYOR:
 CASCADE SURVEY & ENGINEERING, INC.
 P O BOX 326
 ARLINGTON WA 98223
 TEL: 425-435-5551
 www.cascadesurveying.com

GRADING ESTIMATE
 CUT: 200 CY's
 FILL: 200 CY's

THE GRADING ESTIMATE PROVIDED FOR THESE PLANS IS APPROXIMATE. ACTUAL GRADING VOLUMES MAY VARY. CALCULATIONS DO NOT ACCOUNT FOR VARIOUS VOLUMETRIC CHANGES DURING THE EARTH WORK PROCESS.

DRAWING INDEX

- SITE PLAN
- EXISTING CONDITIONS & SWPP NOTES
- PLAN SWPPP NOTES
- CITY OF ARLINGTON DETAILS
- CITY OF ARLINGTON DETAILS

DATE	REVISION/ISSUED
05/05/20	ISSUED

CALL 48 HOURS BEFORE YOU DIG 1-800-424-5888

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

PFN:

DUNGENESS GEAR WORKS

200531

DWG C1 OF 5

FULL DRAINAGE SITE PLAN



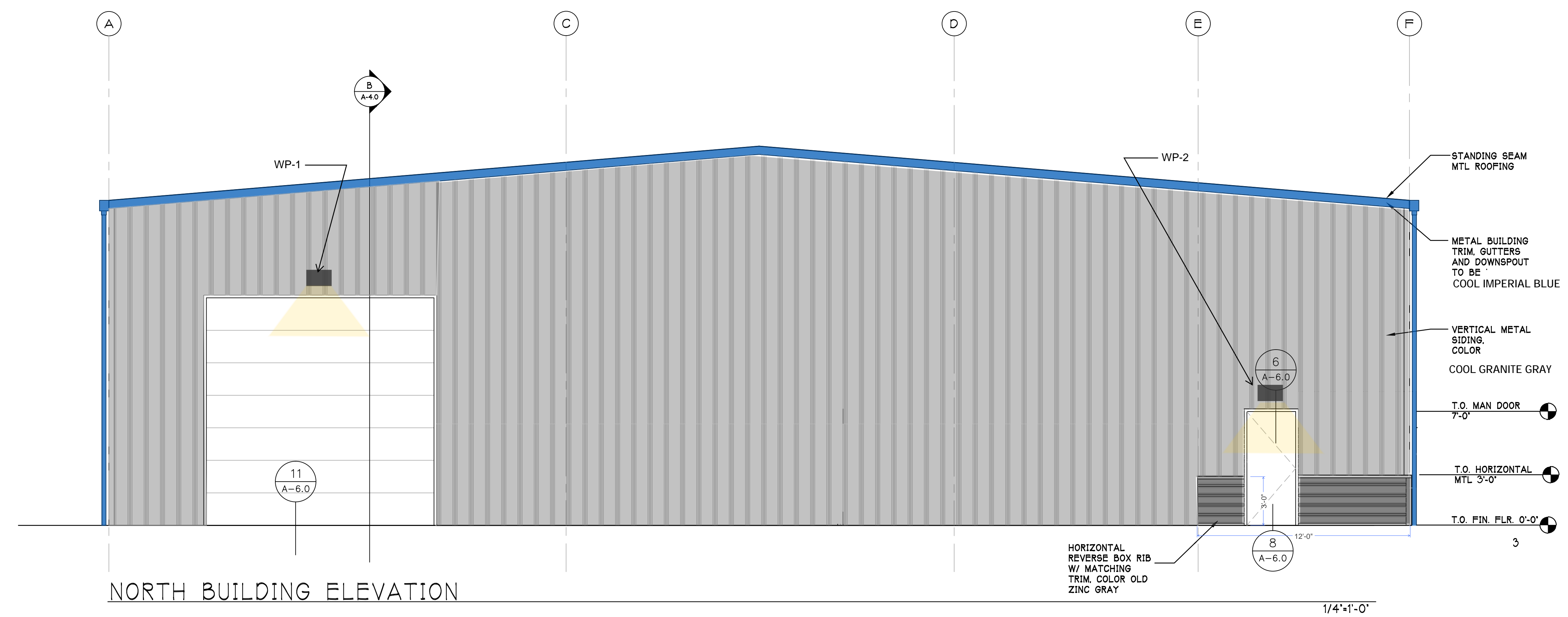
CARLETTI ARCHITECTS P.S.
architecture, planning, interior design

116 EAST FIR STREET
SUITE A
MOUNT VERNON, WA. 98273

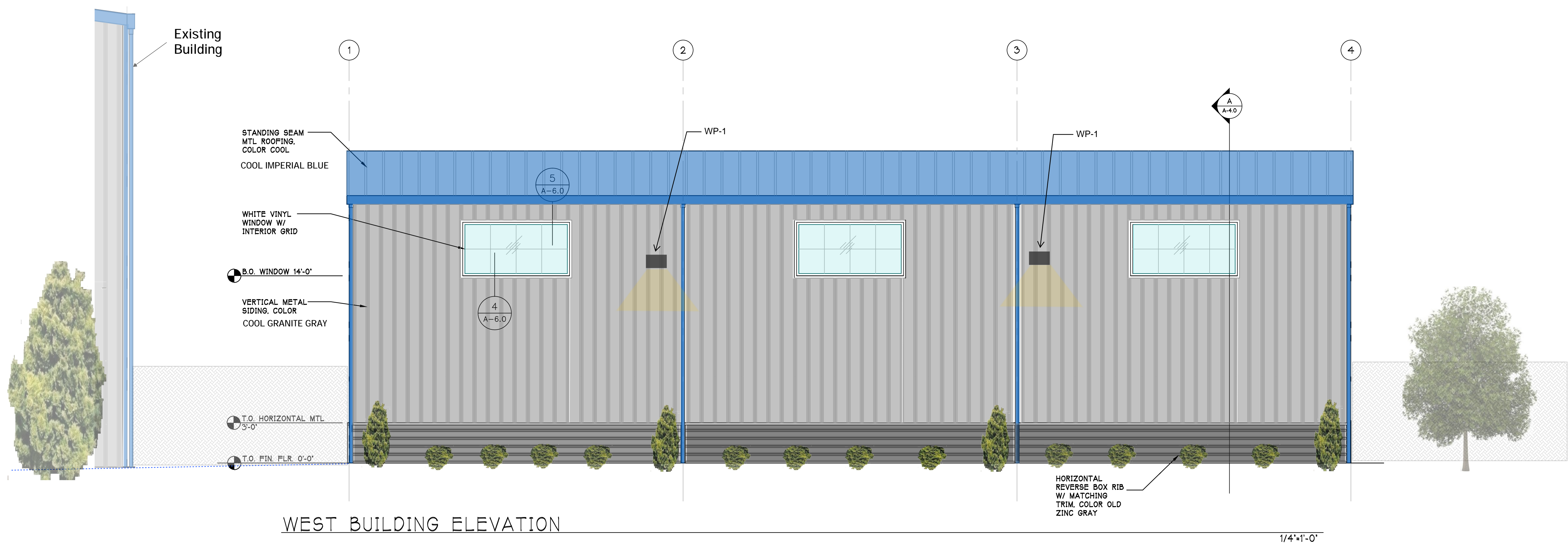
Phone: (360) 424-0394
Fax: (360) 424-5726

PRELIMINARY

A NEW BUILDING FOR:
DUNGENESS GEAR WORKS INC.
18021 59TH AVE NE
ARLINGTON, WA
98223



NORTH BUILDING ELEVATION



WEST BUILDING ELEVATION

20-405
PROJECT NUMBER:

REVISIONS:

SHEET TITLE:
FLOOR PLAN

PETER CARLETTI
PROJECT ARCHITECT
JENNIFER PEARSON
DRAWN BY
PETER CARLETTI
CHECKED BY

JANUARY 20, 2020
DATE
20-405 FLOOR PLAN.DWG
COMPUTER FILE NAME

A-3.0

COOL IMPERIAL BLUE



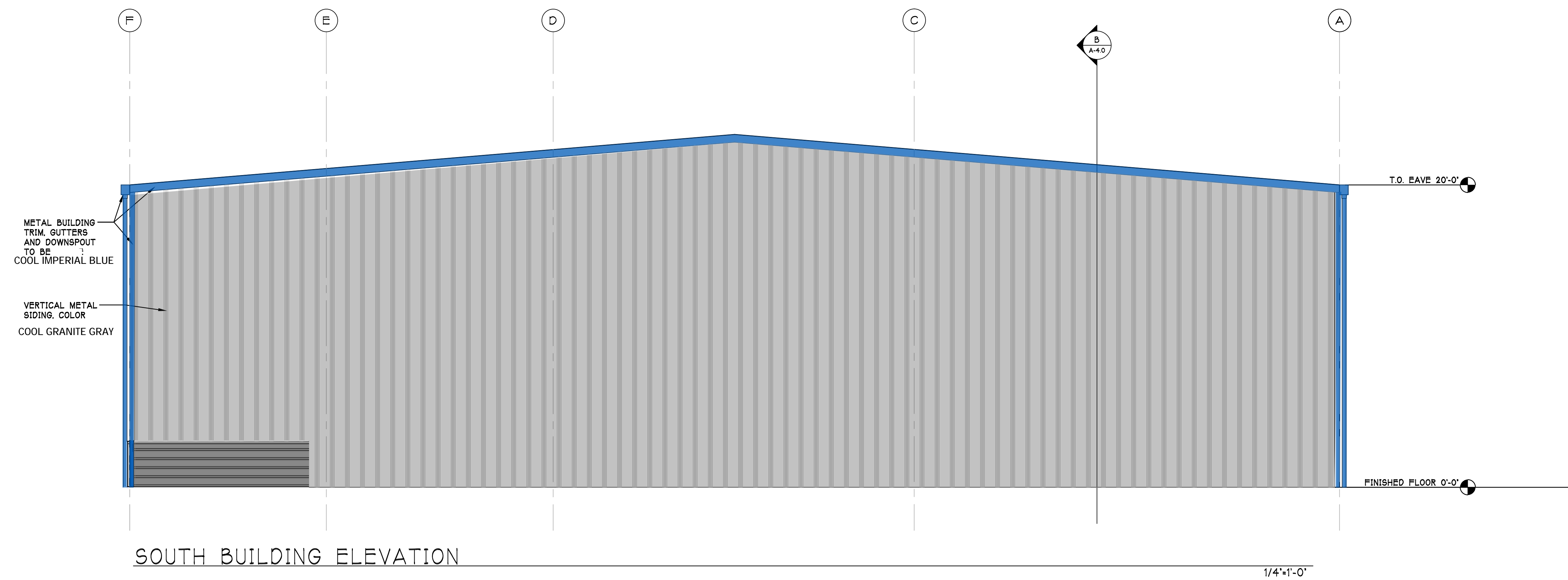
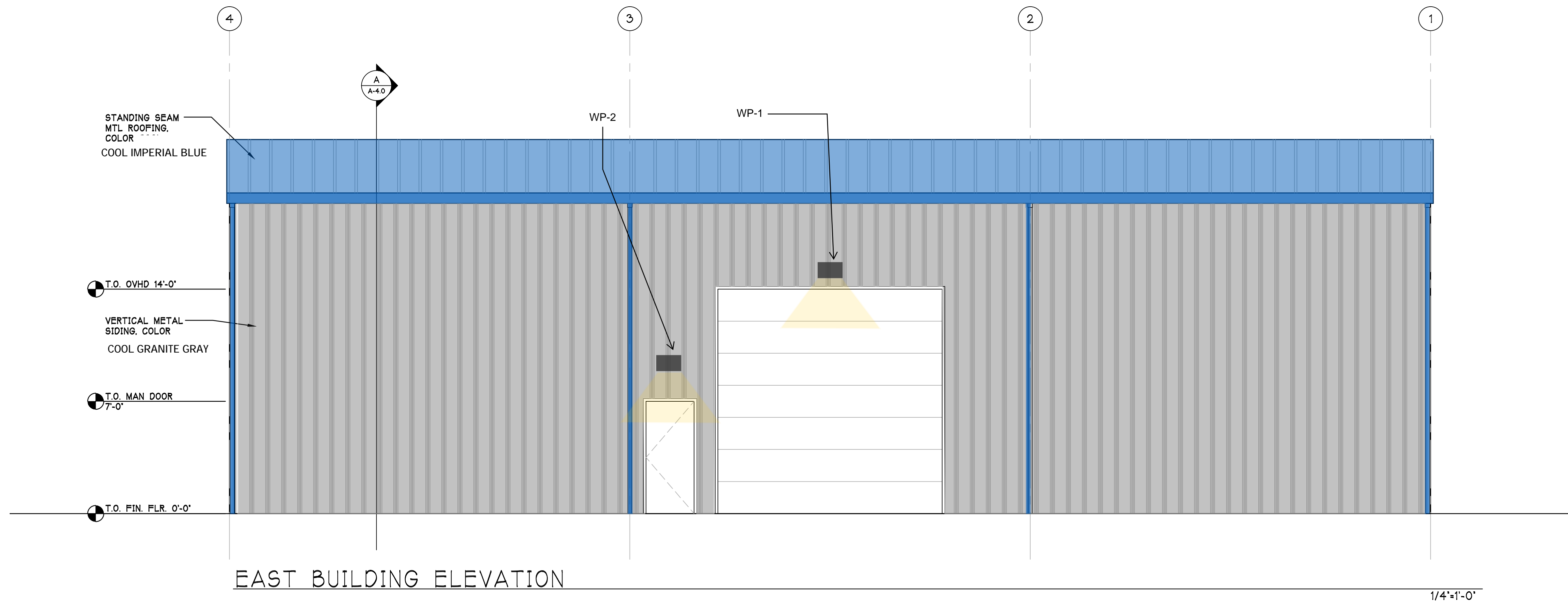
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116 EAST FIR STREET
SUITE A
MOUNT VERNON, WA. 98273

Phone: (360) 424-0394
Fax: (360) 424-5726

PRELIMINARY

A NEW BUILDING FOR:
DUNGENESS GEAR WORKS INC.
18021 59TH AVE NE
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98223



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PETER CARLETTI
PROJECT ARCHITECT:

JENNIFER PEARSON
DRAWN BY:

PETER CARLETTI
CHECKED BY:

JANUARY 20, 2020
DATE

20-405 FLOOR PLAN.DWG
COMPUTER FILE NAME

A-3.1