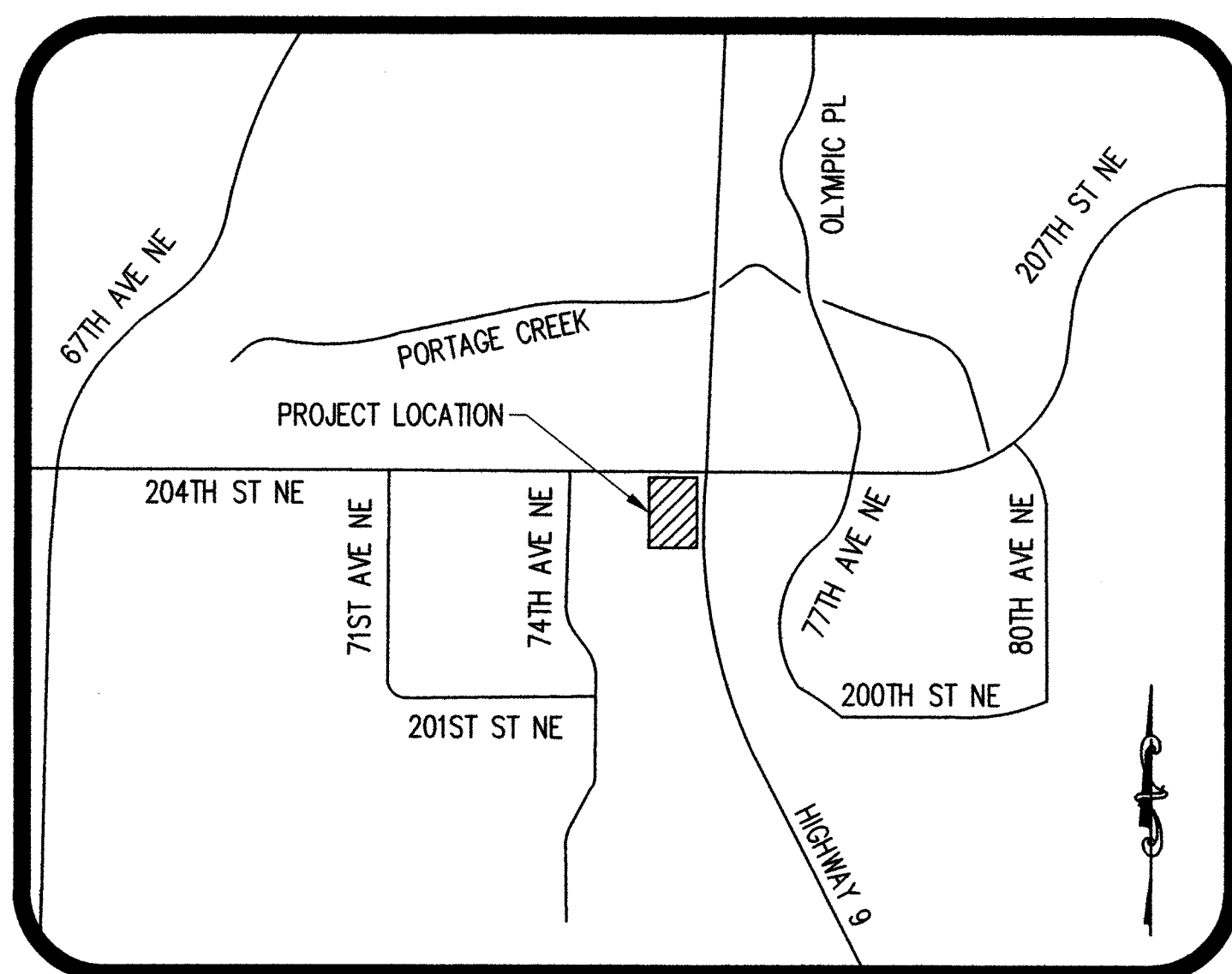


PORTION OF THE NE 1/4 OF THE NW 1/4 AND NW 1/4 OF THE NE 1/4 OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.



VICINITY MAP

NTS

LEGAL DESCRIPTION

LOT 4 OF CITY ARLINGTON PLAN OF ARLINGTON RETAIL, ACCORDING TO THE PLAT THEREOF RECORDED UN AUDITOR'S FILE NO. 200103195005, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATED IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

GENERAL NOTES

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFIC SITEWORK SPECIFICATIONS AND CITY OF ARLINGTON STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY BARGHAUSEN CONSULTING ENGINEERS, INC., DATED APRIL 2, 2018. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR** THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THIS MAY INCLUDE POTHOLING, SCOPING, OR GROUND PENETRATING RADAR (GPR) AT THE CONTRACTOR'S EXPENSE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- SITE WORK FOR THIS PROJECT SHALL BE CONSTRUCTED PER THE APPROVED, SIGNED CONSTRUCTION PLANS. ELECTRONIC FILES SHALL NOT BE CONSIDERED CONSTRUCTION DOCUMENTS UNLESS SPECIFICALLY STATED AS SUCH AND HANDLED IN ACCORDANCE WITH THE BID DOCUMENTS. SIGNED PAPER PLANS SHALL TAKE PRECEDENCE OVER ELECTRONIC FILES.
- THE CONTRACTOR SHALL MAINTAIN A SET OF THE CONSTRUCTION PLANS ON-SITE AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD A DETAILED AS-BUILT SURVEY FOR THE FOLLOWING SITE CONSTRUCTION IMPROVEMENTS:
 - ALL REVISIONS TO THE CITY APPROVED CONSTRUCTION PLANS.
 - ALL UNDERGROUND UTILITIES INCLUDING BUT NOT LIMITED TO STORMWATER, SANITARY SEWER, WATER, ELECTRICAL, ETC.. PROVIDE RIM AND INVERT ELEVATIONS FOR ALL STORMWATER AND SANITARY STRUCTURES.
 - SPOT ELEVATIONS FOR ALL CURB RAMPS, ADA PARKING AND ACCESSIBLE ROUTES FROM THE BUILDING TO THE RIGHT-OF-WAY AND FROM PARKING AREAS TO THE BUILDING.

7-ELEVEN
CONVENIENCE STORE WITH FUEL
7430 204TH STREET NORTHEAST
ARLINGTON, WA 98223
CITY OF ARLINGTON

PWD#1349

GOVERNING AGENCY

CITY OF ARLINGTON
 238 N OLYMPIC AVE
 ARLINGTON, WA 98223
 (360) 403-3551

PERMIT NUMBER

PWD #1349 (ASSIGNED BY CITY OF ARLINGTON)

OWNER/DEVELOPER

PEOPLES BANK CADENCE
 P.O. BOX 233 4580 KLAHANIE DR. SE #402
 LYNDEN, WA 98264 ISSAQUAH, WA 98029
 (425) 270-9782
 CONTACT: JEFF PARKER

EROSION CONTROL LEAD

CONTACT:

CIVIL ENGINEER

PACLAND-SEATTLE
 1505 WESTLAKE AVE N, SUITE 305
 SEATTLE, WA 98109
 (206) 522-9510
 CONTACT: SEAN MALLON, P.E.
 TRAVIS CHESHIRE

ARCHITECT

PM DESIGN GROUP
 19401 40TH AVE. W, SUITE #200
 LYNNWOOD, WA 98036
 (425) 405-7752
 CONTACT: KAREN WALLACE

LANDSCAPE ARCHITECT

LYON LANDSCAPE ARCHITECTS
 11237 NE 95TH ST
 KIRKLAND, WA 98033
 (253) 209-4053
 CONTACT: MOGHAN LYON, LA

SURVEYING

BARGHAUSEN CONSULTING ENGINEERS
 18215 72ND AVE S.
 KENT, WA 98032
 (425) 251-6222
 CONTACT: OWEN HILLE

GEOTECHNICAL ENGINEER

THE RILEY GROUP
 17522 BOTHELL WAY NE
 BOTHELL, WA 98011
 (425) 415-0551
 CONTACT: CHRISTINA WELLER, PE

ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	E	EAST	MH	MANHOLE	SF	SQUARE FEET
AMC	ARLINGTON MUNICIPAL CODE	ESAL	EQUIVALENT SINGLE-AXLE LOAD	MIN	MINIMUM	SS	SANITARY SEWER
ARCH	ARCHITECTURAL	ESC	EROSION AND SEDIMENT CONTROL	MJ	MECHANICAL JOINT	ST	STREET
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EX	EXISTING	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	SW	SIDEWALK
AVE	AVENUE	FFE	FINISHED FLOOR ELEVATION	N	NORTH	TC	TOP OF CURB
BMP	BEST MANAGEMENT PRACTICE	FL	FLOW LINE	NTS	NOT TO SCALE	TG	TOP OF GROUND
BW	BOTTOM OF WALL	FT	FEET	NTS	NOT TO SCALE	TP	TOP OF PAVEMENT
CB	CATCH BASIN	HDPE	HIGH-DENSITY POLYETHYLENE	PE	POLYETHYLENE	TW	TOP OF WALL
CL	CLASS	HORIZ	HORIZONTAL	PUD	PLANNED UNIT DEVELOPMENT	TYP	TYPICAL
CO	CLEANOUT	HP	HIGH POINT	PVC	POLYVINYL CHLORIDE	VERT	VERTICAL
CO	CLEANOUT	HWY	HIGHWAY	RD	ROAD	W	WEST
CY	CUBIC YARDS	IE	INVERT ELEVATION	REQS	REQUIREMENTS	WA	WATER
DIA	DIAMETER	LP	LOW POINT	S	SOUTH	WSDOT	WASHINGTON DEPARTMENT OF TRANSPORTATION
DR	DRIVE	MAX	MAXIMUM	SD	STORM DRAIN		
		MEP	MECHANICAL/ELECTRICAL/PLUMBING	SDR	STANDARD DIMENSION RATIO		

ROAD CLASSIFICATION

204TH ST NE: MINOR ARTERIAL
 SR 9: HIGHWAY

SITE DATA

TOTAL AREA = 38,645 SF (0.887 AC)
 ROW DEDICATION AREA = 649 SF (0.015 AC)
 BUILDING & CANOPY AREA = 4,970 SF (0.114 AC)
 IMPERVIOUS SITE AREA = 30,715 SF (0.705 AC)
 LANDSCAPE AREA = 7,930 SF (0.182 AC)
 IMPERVIOUS AREA COVERAGE = 79%
 LOT DIMENSIONS = ±184' X 210'
 BUILDING HEIGHT = 35' (MAX)

SITE INFORMATION

PARCEL NUMBER: 009205-000-004-00
 SITE ADDRESS: NOT YET ASSIGNED
 CURRENT ZONING: GENERAL COMMERCIAL (GC)
 AIRPORT DISTRICT: C
 USE CLASSIFICATION: 2.111 (CONVENIENCE STORE)
 SITE AREA: 38,645 SF (0.887 AC)

DEVELOPMENT STANDARDS

ZONING GC
 MAXIMUM IMPERVIOUS SURFACE NONE
 BUILDING SETBACKS
 SETBACK FROM OPEN DRAINAGE FACILITY 15'
 SETBACK FROM EASEMENT 5'
 SETBACK FROM STREET (BUILDING OVER 10,000 SF) 25'
 SETBACK FROM STREET (BUILDING UNDER 10,000 SF) 10'

SCREENING

SOUTHERN LOT LINE: TYPE C, INTERMITTENT SCREENING
 EASTERN LOT LINE: TYPE C, INTERMITTENT SCREENING
 NORTHERN LOT LINE: TYPE C, INTERMITTENT SCREENING
 WESTERN LOT LINE: TYPE C, INTERMITTENT SCREENING

UTILITY PROVIDERS

STORM
 ARLINGTON CITY STORMWATER DEPARTMENT
 154 W COX ST
 ARLINGTON, WA 98223
 (360) 403-3526

ELECTRIC
 SNOPOD
 2320 CALIFORNIA STREET
 EVERETT, WA 98201
 (425) 783-8272

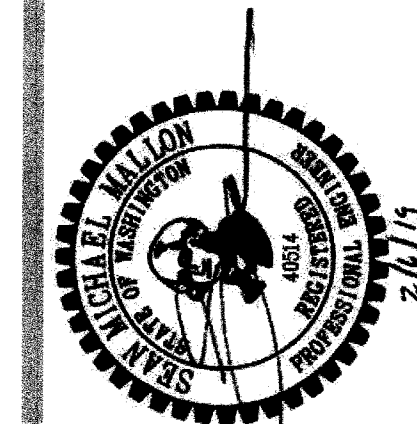
WATER
 ARLINGTON CITY WATER UTILITY DEPARTMENT
 154 W COX ST
 ARLINGTON, WA 98223
 (360) 403-3526

NATURAL GAS
 CASCADE NATURAL GAS
 1520 S 2ND ST
 MT VERNON, WA 98273
 (888) 522-1130

SEWER
 ARLINGTON CITY SEWER DEPARTMENT
 154 W COX ST
 ARLINGTON, WA 98223
 (360) 403-3526

DRAWING INDEX

SHEET NO.	DRAWING TITLE
CV-1.0	COVER SHEET
CV-1.1	GENERAL NOTES-(NOT INCLUDED)
CV-1.2	CITY OF ARLINGTON STANDARD NOTES-(NOT INCLUDED)
EX-1.0	EXISTING CONDITIONS PLAN-(NOT INCLUDED)
D-1.0	DEMOLITION AND-ESC PLAN-(NOT INCLUDED)
D-2.0	EROSION-DETAILS (NOT INCLUDED)
C-1.0	HORIZONTAL CONTROL PLAN
C-1.1	SITE PLAN
C-2.0	GRADING AND DRAINAGE PLAN
C-2.1	GRADING DETAILS
C-3.0	UTILITY PLAN
G-5.0	SANITARY SEWER DETAILS-(NOT INCLUDED)
G-6.0	STORM DRAINAGE DETAILS (NOT INCLUDED)
G-6.1	STORM DRAINAGE DETAILS (NOT INCLUDED)
G-6.2	STORM DRAINAGE DETAILS (NOT INCLUDED)
G-6.3	STORM DRAINAGE DETAILS (NOT INCLUDED)
G-7.0	WATER DETAILS (NOT INCLUDED)
G-8.0	SITE DETAILS (NOT INCLUDED)
G-8.1	PAVING AND SITE DETAILS-(NOT INCLUDED)
G-8.2	SITE DETAILS (NOT INCLUDED)
L-1.0	LANDSCAPE PLAN (NOT INCLUDED)
L-1.1	PLANTING DETAILS (NOT INCLUDED)
L-2.0	IRRIGATION PLAN (NOT INCLUDED)
L-2.1	IRRIGATION DETAILS (NOT INCLUDED)
SHEET 1 OF 2	ALTA/NSPS LAND TITLE SURVEY (NOT INCLUDED)
SHEET 2 OF 2	ALTA/NSPS LAND TITLE SURVEY (NOT INCLUDED)



PACLAND
 1505 Westlake Ave. N.
 Suite 305
 Seattle, WA 98109
 T (206) 522-9510
 F (206) 522-8944
 www.pacland.com

ENGINEERS CONSTRUCTION RECORD CERTIFICATION
 THIS PLAN HAS BEEN REVIEWED FOR CONFORMANCE WITH THE DESIGN INTENT. THIS PLAN, AS MODIFIED HEREIN, REPRESENTS THE RECORD CONDITIONS OF THE NEW CONSTRUCTION SHOWN, BASED UPON A LIMITED SURVEY PROVIDED BY INFORMED LAND SURVEY 1-28-2019 AND CONTRACTOR RECORDS/REDLINES. THIS DOCUMENT DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE ENGINEER HEREBY CERTIFIES THAT, BASED UPON THE METHODOLOGY DESCRIBED ABOVE, CONSTRUCTION SHOWN IS CONSISTENT WITH THE DESIGN INTENT EXCEPT AS NOTED, AND ACCURATELY REPRESENTS THE EXISTING CONDITIONS, PER CONTRACTOR AND SURVEYOR PROVIDED RECORD INFORMATION.

DATE _____
 ENGINEER OF RECORD _____

AS-BUILT DRAWING APPROVAL
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
 BY: *Sean A. Mallon*
 City Engineer, CITY OF ARLINGTON
 DATE: 2/23/19

7-ELEVEN
PRAIRIE CREEK VILLAGE
ARLINGTON, WA
COVER SHEET

CV-1.0

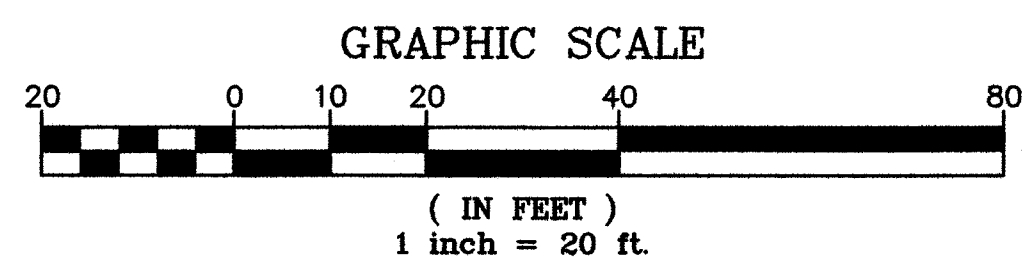
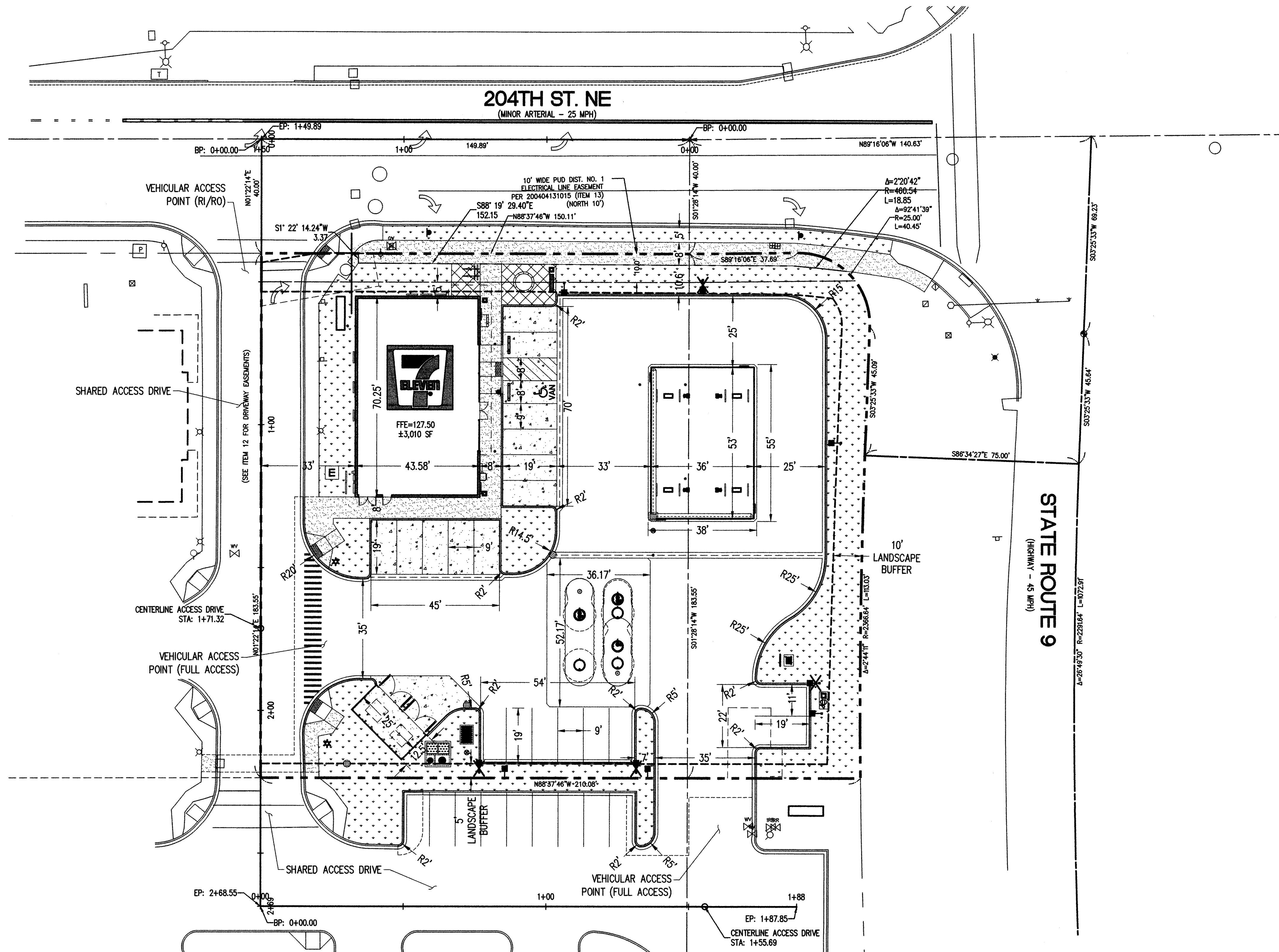
PWD 1349
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 FEB 07 2019

S:\Washington\Arlington\CADENCE\SR-9 & 204TH ST\2D\WGS\AS-BUILT\AS-BUILT\Plans\CAAR000CAB.dwg Feb 01, 2019 - 11:57am

PORTION OF THE NE 1/4 OF THE NW 1/4 AND NW 1/4 OF THE NE 1/4 OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.

LEGEND

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPED AREA
- CONCRETE CURB & GUTTER
- PROPERTY LINE



ENGINEER'S CONSTRUCTION RECORD CERTIFICATION
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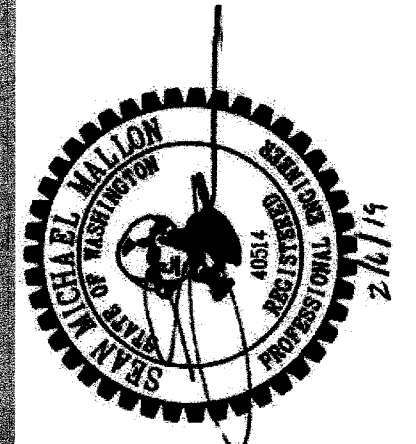
ENGINEER OF RECORD _____ DATE _____

AS-BUILT DRAWING APPROVAL
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
 BY: *[Signature]*
 City Engineer, CITY OF ARLINGTON
 DATE: 2/27/19

S:\Washington\Arlington\CADENCE\SR-9 & 204TH ST NE\2DWCS\AS-BUILTS\As-Built Plans\CAART115AB.dwg Feb 01, 2019 - 12:20pm



DATE	2/1/2019
TAC	AS-BUILT
CLF	
SMM	10-518-017



PACILAND
 1505 Washburn Ave. N.
 Suite 305
 Seattle, WA 98109
 T (206) 522-9510
 F (206) 522-9544
 www.paciland.com

7-ELEVEN PRAIRIE CREEK VILLAGE ARLINGTON, WA
HORIZONTAL CONTROL AS-BUILT

CONSTRUCTION KEY NOTES

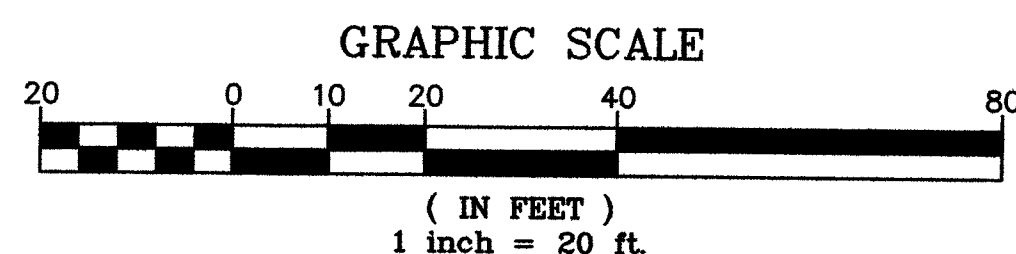
- (3) C-8.0 (A) CEMENT CONCRETE CURB AND GUTTER.
- (5) C-8.0 (B) MOUNTABLE MEDIAN CURB.
- (4) C-8.0 (C) CONCRETE VALLEY GUTTER.
- (D) INSTALL SALVAGED LIGHT POLE W/ NEW BASE.
- (E) SITE LIGHT STANDARD AND BASE. SEE ARCH PLANS FOR DETAILS.
- (F) TRASH ENCLOSURE. SEE ARCH. PLANS FOR DETAILS.
- (G) PEDESTRIAN PLAZA AREA. SEE ARCH. PLANS FOR DETAILS.
- (H) AIR COMPRESSOR, TRASH CAN, AND CONCRETE PAD. SEE ARCH. PLANS FOR DETAILS.
- (I) UNDERGROUND FUEL STORAGE TANK VENTS. SEE ARCH. PLANS FOR DETAILS.
- (J) CONCRETE PAD FOR FUEL CANOPY AND UNDERGROUND FUEL STORAGE TANKS. SEE ARCH. PLANS FOR DETAILS.
- (K) AREA STRIPED WITH SINGLE WHITE (4") LINES AT 45' - 2'-0" O.C.
- (6) C-8.0 (L) ADA STALL W/ SIGN, SLOPE IN ADA STALLS AND LANDING AREAS SHALL BE NOT MORE THAN 2% IN ANY DIRECTION.
- (5) C-8.1 (M) CROSSWALK.
- (N) INSTALL SALVAGED SIGN, "RIGHT TURN MUST TURN RIGHT".
- (6) C-8.1 (O) PRECAST CONCRETE WHEEL STOP.
- (2) C-8.0 (P) CONCRETE SIDEWALK.
- (1) C-8.2 (Q) PARALLEL CURB RAMP, TYPE A.
- (2) C-8.2 (R) PERPENDICULAR CURB RAMP, TYPE A.
- (3) C-8.2 (S) RE-STRIPE PARKING STALLS W/ SINGLE WHITE (4") STRIPE.
- (3) C-8.2 (T) DETECTABLE WARNING SURFACE.
- (U) TRELLIS. SEE ARCH. AND LANDSCAPE PLANS FOR DETAILS.
- (V) ELECTRICAL TRANSFORMER.

LEGEND

- (3) C-8.1 CONCRETE PAVEMENT
- (4) C-8.1 CONCRETE SIDEWALK PAVEMENT
- (2) C-8.1 HEAVY DUTY A.C. PAVEMENT
- (1) C-8.1 STANDARD DUTY A.C. PAVEMENT
- LANDSCAPED AREA
- ROW DEDICATION AREA
- (3) C-8.0 CONCRETE CURB & GUTTER
- PROPERTY LINE
- SIGN
- PARKING STALLS PER ROW
- (6) C-8.1 PRECAST CONCRETE WHEEL STOP
- SAWCUT
- PROPOSED LIGHT STANDARD & BASE (SEE ARCH PLANS FOR DETAILS)
- SALVAGED LIGHT STANDARD (SEE ARCH PLANS FOR DETAILS)

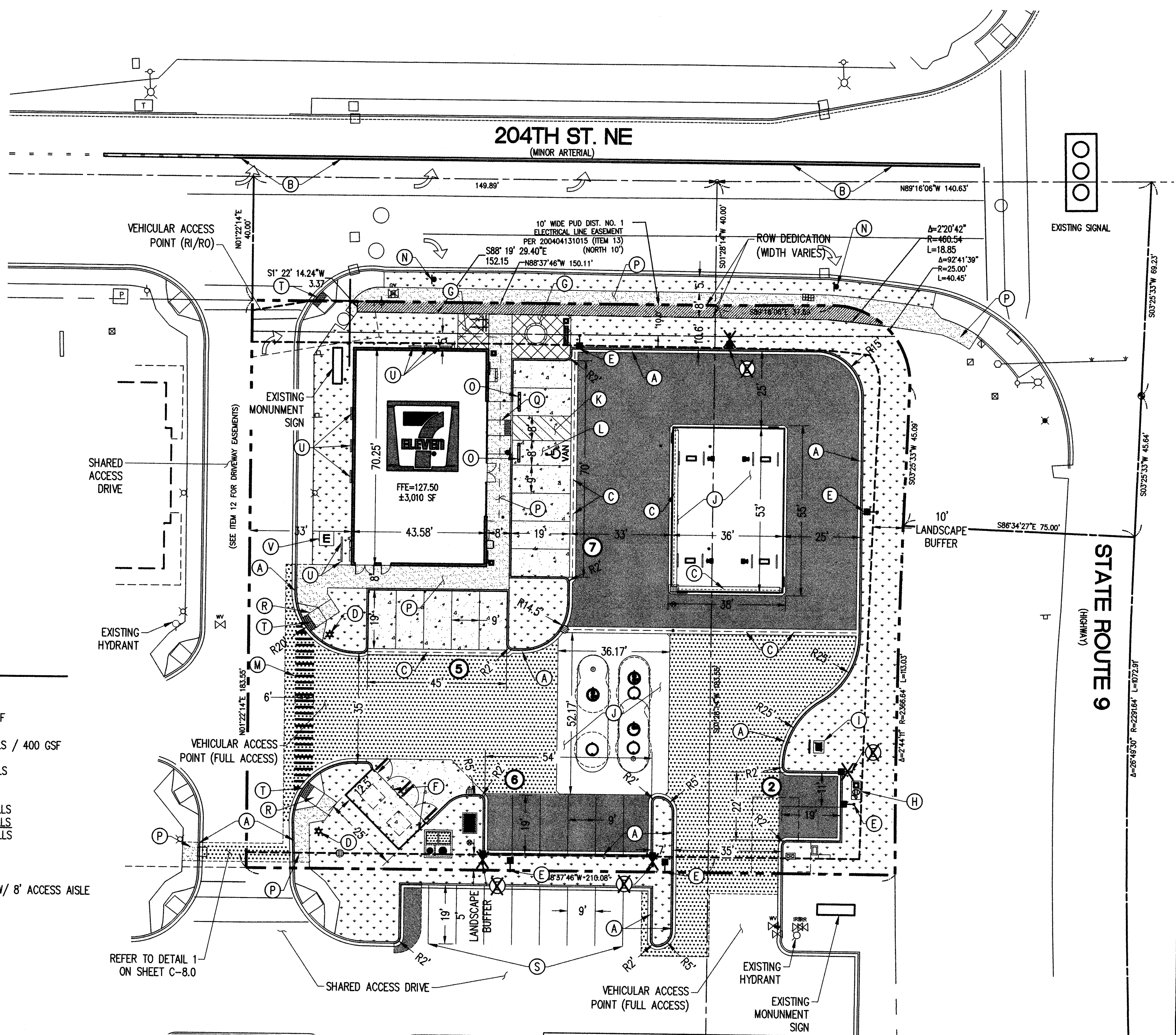
PARKING DATA

REQUIRED PARKING	
APPLICABLE BUILDING AREA 2,111 CONVENIENCE STORE	= 3,010 SF
REQUIRED PARKING RATIO	= 1 STALLS / 400 GSF
TOTAL REQUIRED	= 8 STALLS
PARKING PROVIDED	
STANDARD STALLS	= 19 STALLS
ACCESSIBLE STALLS	= 1 STALLS
TOTAL STALLS	= 20 STALLS
PARKING STALL DIMENSIONS	
STANDARD STALLS	19' X 9'
ADA STALLS	19' X 8', W/ 8' ACCESS AISLE



Know what's below.
Call before you dig.

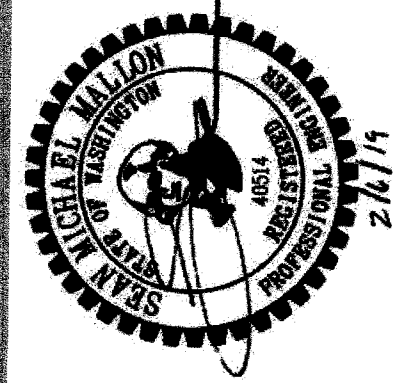
PORTION OF THE NE 1/4 OF THE NW 1/4 AND NW 1/4 OF THE NE 1/4 OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.



ENGINEERS CONSTRUCTION RECORD CERTIFICATION
THIS PLAN HAS BEEN REVIEWED FOR CONFORMANCE WITH THE DESIGN INTENT. THIS PLAN, AS MODIFIED HEREIN, REPRESENTS THE RECORD CONDITIONS OF THE NEW CONSTRUCTION SHOWN, BASED UPON A LIMITED SURVEY PROVIDED BY INFORMED LAND SURVEY 1-28-2019 AND CONTRACTOR RECORDS/REDLINES. THIS DOCUMENT DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE ENGINEER HEREBY CERTIFIES THAT, BASED UPON THE METHODOLOGY DESCRIBED ABOVE, CONSTRUCTION SHOWN IS CONSISTENT WITH THE DESIGN INTENT EXCEPT AS NOTED, AND ACCURATELY REPRESENTS THE EXISTING CONDITIONS, PER CONTRACTOR AND SURVEYOR PROVIDED RECORD INFORMATION.

DATE _____
ENGINEER OF RECORD

AS-BUILT DRAWING APPROVAL
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
BY: *[Signature]*
City Engineer, CITY OF ARLINGTON
DATE: 2/25/19



PACLAND
1505 Westlake Ave. N.
Suite 305
Seattle, WA 98109
T (206) 572-9510
F (206) 572-8394
WWW.PACLAND.COM

7-ELEVEN
PRAIRIE CREEK VILLAGE
ARLINGTON, WA
SITE PLAN AS-BUILT

C-11

S:\Washington\Arlington\CADENCE\SR-9 & 204TH ST NE\2DWGS\AS-BUILT\Plans\CAART10SAB.dwg Feb 01, 2019 - 12:19pm

CONSTRUCTION KEY NOTES

- (A) INSTALL 12" PVC BALL VALVE (NORMALLY OPEN) IN CAST IRON BOX. SET VALVE BOX MIN. 2' DOWNSTREAM OF OIL/WATER SEPARATOR AND FLUSH WITH FINISHED GRADE. PROVIDE CONCRETE COLLAR AROUND VALVE BOX. PROVIDE MATCHING T-HANDLE, SET TO WORKING HEIGHT.
- (B) CONNECT TO BUILDING ROOF DRAIN LEADER, IE=125.70.
- (C) INSTALL 4" PERFORATED PVC (SCH.40) FOOTING DRAIN PLACED AT THE BASE OF THE HEEL OF THE FOOTING WITH PERFORATIONS FACING DOWN. THE PIPE SHALL BE SURROUNDED BY MIN. 4" CLEAN FREE-DRAINING ROCK (WSDOT STD. SPC. 9-03.12(4)). MIRAFI 140N, OR EQUIVALENT, SHALL BE PLACED AROUND DRAINAGE ROCK.
- (D) CONNECT TO CANOPY ROOF DRAIN LEADER, IE=125.20. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION.
- (E) CONTRACTOR TO FIELD VERIFY ELEVATION AND LOCATION PRIOR TO TRENCHING OF NEW STORM DRAIN LINE. NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
- (F) CORE DRILL INTO EXISTING CATCH BASIN TO INSTALL NEW STORM PIPE. GROUT AROUND PENETRATION USING A NON-SHRINKING MORTAR TO OBTAIN A WATER TIGHT CONNECTION. CONTRACTOR SHALL ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING MANHOLE IS NOT COMPROMISED AS A RESULT OF THE ADDED PIPE CONNECTION. NEW 12" PIPE NOT INSTALLED. EXISTING 8" PIPE USED.
- (G) INSTALL 6" PVC BALL VALVE (NORMALLY CLOSED) IN CAST IRON BOX. SET VALVE BOX MIN. 3' DOWNSTREAM OF TYPE 1 CATCH BASIN AND FLUSH WITH FINISHED GRADE. PROVIDE CONCRETE COLLAR AROUND VALVE BOX. PROVIDE MATCHING T-HANDLE, SET TO WORKING HEIGHT.

STORM STRUCTURE/CLEANOUT SCHEDULE

- | | | | | |
|---|---|--|--|---|
| 1 EX. TY. 1-CB*
RIM=126.91
IE(EX 8"N)=±121.90
IE(EX 12"W)=±121.83
IE(12"E)=121.83
IE(EX 8"E)=±121.83 | 2 PVC CATCH BASIN, SL
RIM=±126.25 127.44
IE(12"E,W)=±122.05 122.09
IE(8"N)=±122.05 121.99
IE(8"W)=122.03 | 3 MODULAR WETLAND
RIM=±126.10 128.51
IE(12"W)=±122.19 122.46
IE(8"N)=±122.05 121.99
IE(12"E)=±123.69 123.90 | 4 SDCO
RIM=ATG
IE=123.72 | 5 O/W SEPARATOR
RIM=±126.10 128.15
IE(12"N,S)=±123.76 123.99
SEE DETAIL 1, SHEET C-6.2 |
| 6 PVC CATCH BASIN, SL
RIM=±127.15 127.13
IE(12"N,S)=±123.88
IE(12"NE)=124.01
IE(12"S)=123.99 | 7 PVC CATCH BASIN, GR
RIM=±126.20 126.25
IE(12"S)=±124.10 124.15
IE(8"E)=±124.10 124.09
IE(8"4"NW)=±124.10 124.43 | 8 TYPE 1 CB, PGR
RIM=±126.60 126.76
IE(6"S)=±124.57 124.68
STRUCTURE MUST PROVIDE A MINIMUM 3' SUMP BELOW OUTLET PIPE INVERT FOR SPILL CONTROL. | 9 SDCO
RIM=ATG 126.65
IE=124.45 | 10 SDCO
RIM=ATG 127.08
IE=124.80 |
| 11 SDCO
RIM=ATG 127.05
IE=125.00 | 12 SDCO
RIM=ATG 127.34
IE=125.16 | 13 SDCO
RIM=ATG 126.82
IE=125.27 | 14 SDCO
RIM=ATG 126.90
IE=125.65 | 15 SDCO NOT INSTALLED
RIM=ATG
IE=123.20 |
| 16 SDCO
RIM=ATG
IE=124.35 | | | | |

- CLEANOUTS SHALL HAVE RISER, CAST IRON LID (FLUSH W/ FINISHED GRADE), AND CONCRETE COLLAR.
- PVC DRAIN BASINS SHALL HAVE A 1' WIDE BY 6" DEEP CONCRETE COLLAR IN LANDSCAPE AREAS.
- *ALL CONNECTIONS TO STORM STRUCTURES SHALL BE WATER TIGHT UTILIZING A NON-POROUS, NON-SHRINKING GROUT.

STORM DRAINAGE PIPE SCHEDULE

- | | | | | |
|---|--|--|---------------------------------------|--|
| 1 12" CPEP EX. 8"
L=44' 30"
S=0.50% | 2 12" CPEP
L=28' 32"
S=0.50% 1.16% | 3 12" CPEP
L=44' 11"
S=0.50% 0.80% | 4 12" CPEP
L=7' 6"
S=0.50% 0.0% | 5 12" CPEP
L=64' 62"
S=0.50% 0.21% |
| 6 8" CPEP
L=35' 33"
S=1.00% 1.40% | 7 6" CPEP
L=13' 10"
S=1.00% 1.40% | 8 6" CPEP
L=66' 51"
S=1.00% | 9 6" CPEP
L=19' 24"
S=1.00% | 10 6" CPEP
L=19' 24"
S=1.00% |
| 11 4" CPEP
L=56' 39"
S=1.00% | 12 4" CPEP
L=38'
S=1.00% | 13 8" CPEP
L=153'
S=1.50% | | |

- CORRUGATED POLYETHYLENE PIPE (CPEP) SHALL BE ADS N-12 WT W/ SMOOTH INTERIOR (N=0.012) & 10.8 PSI JOINTS.
- PIPE SHALL HAVE 1-FOOT MIN. COVER IN PAVED AREAS FROM TOP OF BASE COURSE TO TOP OF PIPE.
- PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS NOTED OTHERWISE.

LEGEND

- | | | | |
|---|--|---|--|
| ADA PARKING/ACCESS AREA (MAX 2% SLOPE IN ANY DIRECTION) | | 1 OIL/WATER SEPARATOR
C-6.2 | |
| PROPERTY LINE | | 2 MODULAR WETLAND MWS-L-8-8-W (WATER QUALITY STRUCTURE) | |
| CONCRETE CURB & GUTTER | | 4 STORM DRAIN CLEANOUT (SDCO) | |
| SAWCUT | | 2,3 STORM DRAINAGE PIPE | |
| EXISTING STORM SYSTEM | | 1 FOOTING DRAIN | |
| 2 PVC CATCH BASIN (30") | | 3 TYPE 1 CATCH BASIN | |

UTILITY CROSSING TABLE

- | | |
|---------------------------------------|---------------------------------------|
| 1 12" SD IE=123.90
1" W T/P=122.40 | 2 6" W IE=123.50
12" SD T/P=122.90 |
|---------------------------------------|---------------------------------------|

ALL UTILITIES CROSSING STORM DRAINAGE PIPES SHALL MAINTAIN 6" INCHES MINIMUM VERTICAL CLEARANCE.

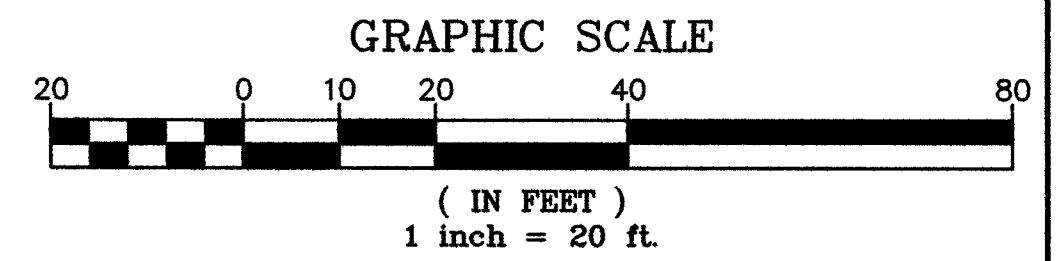


Know what's below.
Call before you dig.

ENGINEERS CONSTRUCTION RECORD CERTIFICATION
THIS PLAN HAS BEEN REVIEWED FOR CONFORMANCE WITH THE DESIGN INTENT. THIS PLAN, AS MODIFIED HEREIN, REPRESENTS THE RECORD CONDITIONS OF THE NEW CONSTRUCTION SHOWN, BASED UPON A LIMITED SURVEY PROVIDED BY INFORMED LAND SURVEY 1-28-2019 AND CONTRACTOR RECORDS/REDLINES. THIS DOCUMENT DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE ENGINEER HEREBY CERTIFIES THAT, BASED UPON THE METHODOLOGY DESCRIBED ABOVE, CONSTRUCTION SHOWN IS CONSISTENT WITH THE DESIGN INTENT EXCEPT AS NOTED, AND ACCURATELY REPRESENTS THE EXISTING CONDITIONS, PER CONTRACTOR AND SURVEYOR PROVIDED RECORD INFORMATION.

ENGINEER OF RECORD

DATE

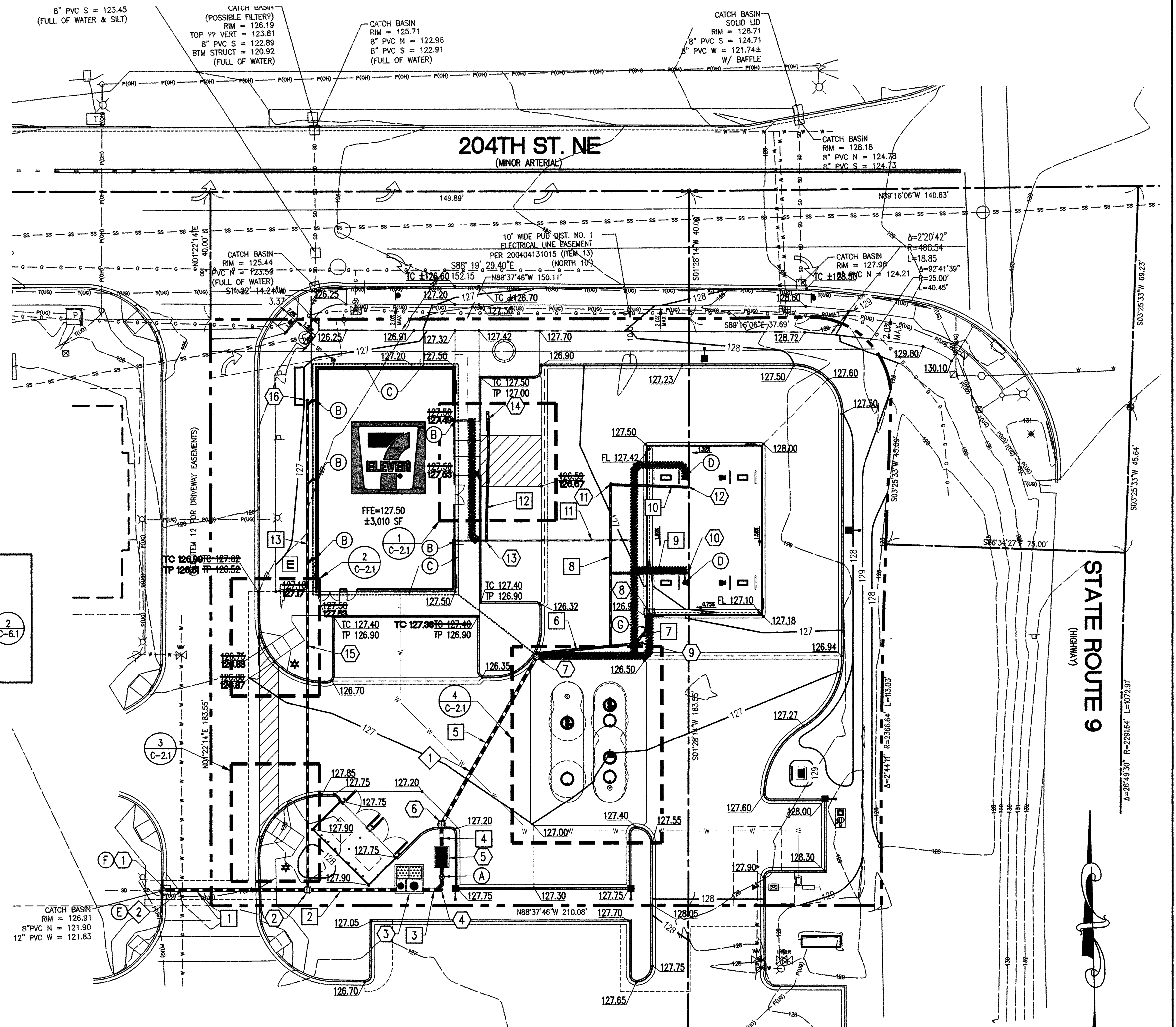


AS-BUILT DRAWING APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY:
City Engineer, CITY OF ARLINGTON

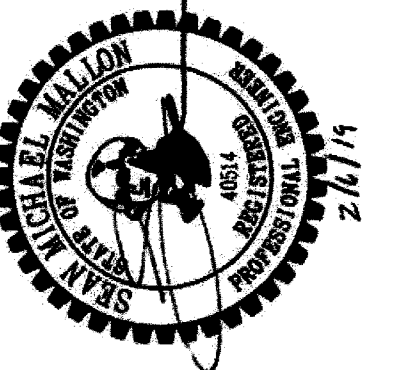
DATE: 2/25/19



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No.	Date	Revision Description

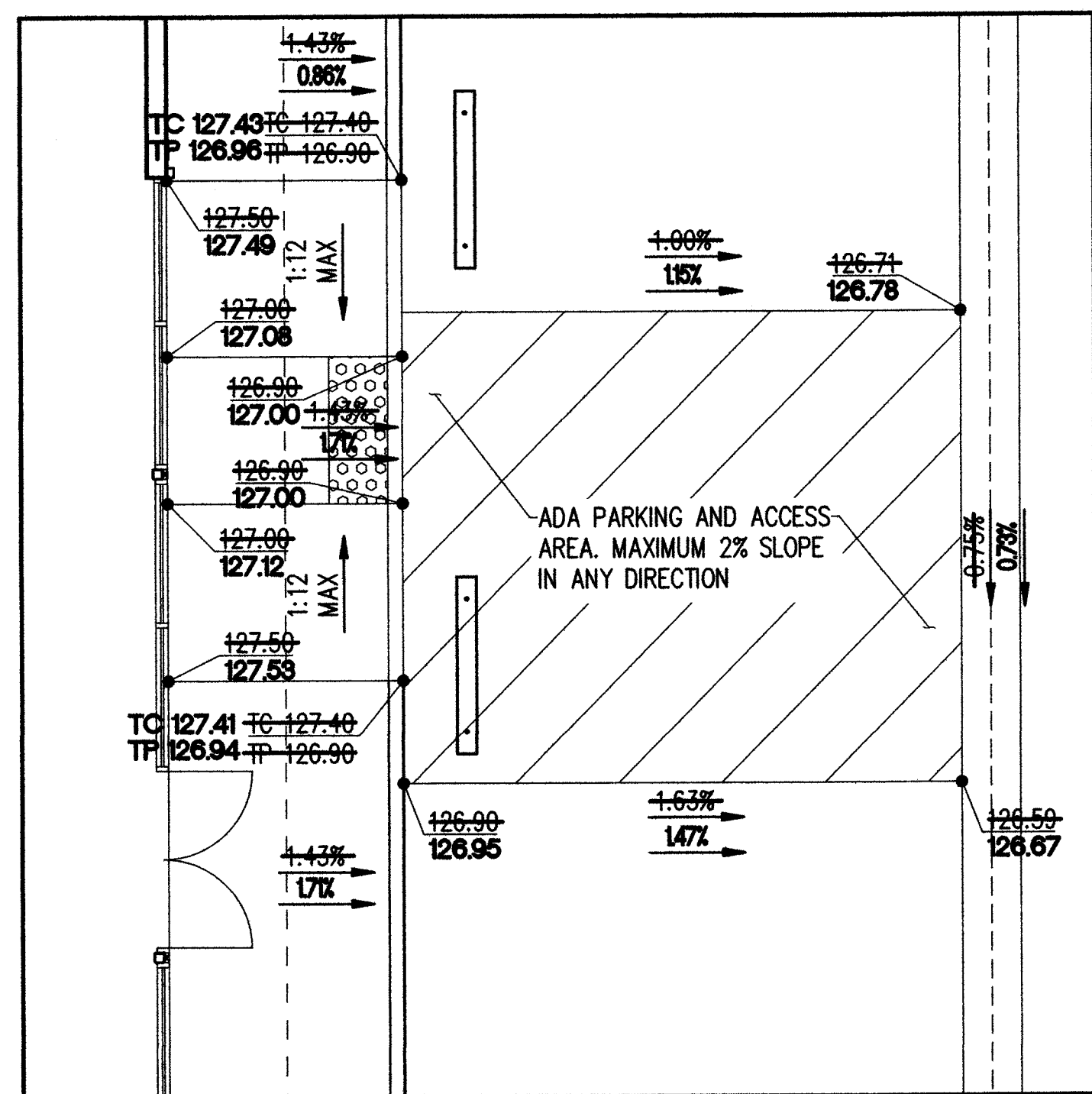
Prepared By	TAC	2/17/2019	AS-BUILT
Checked By	CLF		
Drawn By	SNM	10-518-017	



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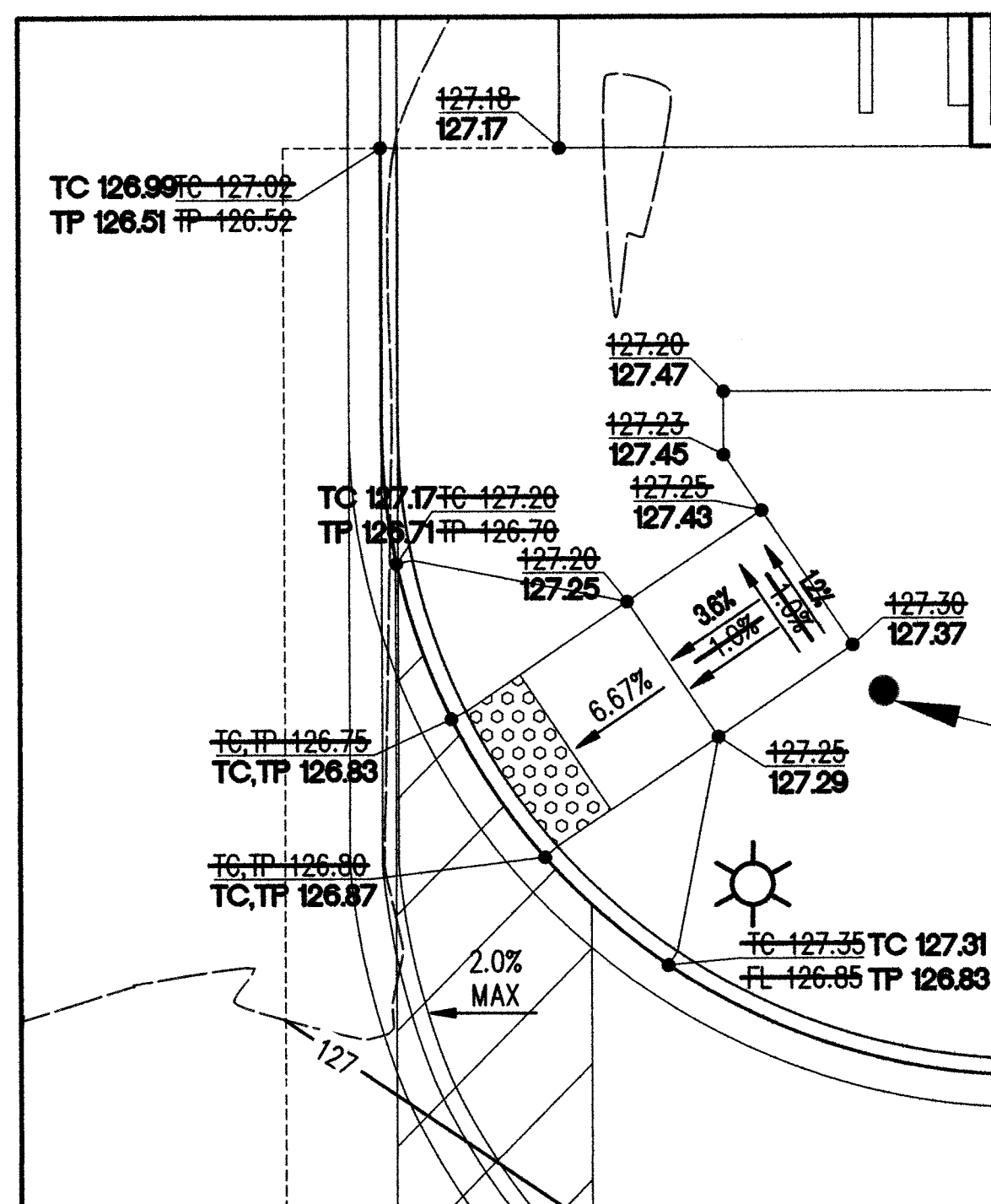
7-ELEVEN
PRAIRIE CREEK VILLAGE
ARLINGTON, WA
GRADING AND DRAINAGE AS-BUILT
C-20

PORTION OF THE NE 1/4 OF THE NW 1/4 AND NW 1/4 OF THE NE 1/4 OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.



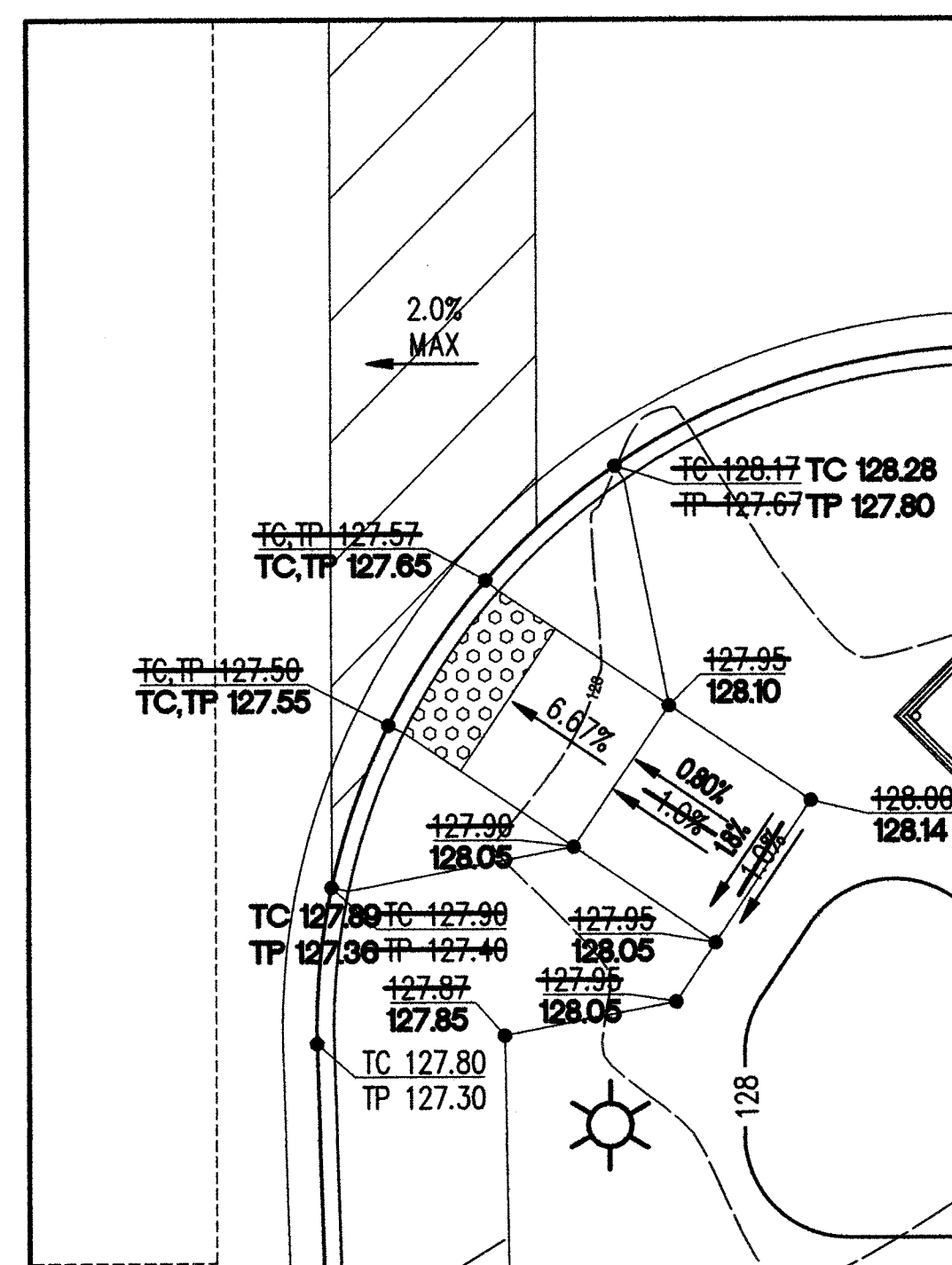
GRADING DETAIL #1

SCALE: 1" = 5'



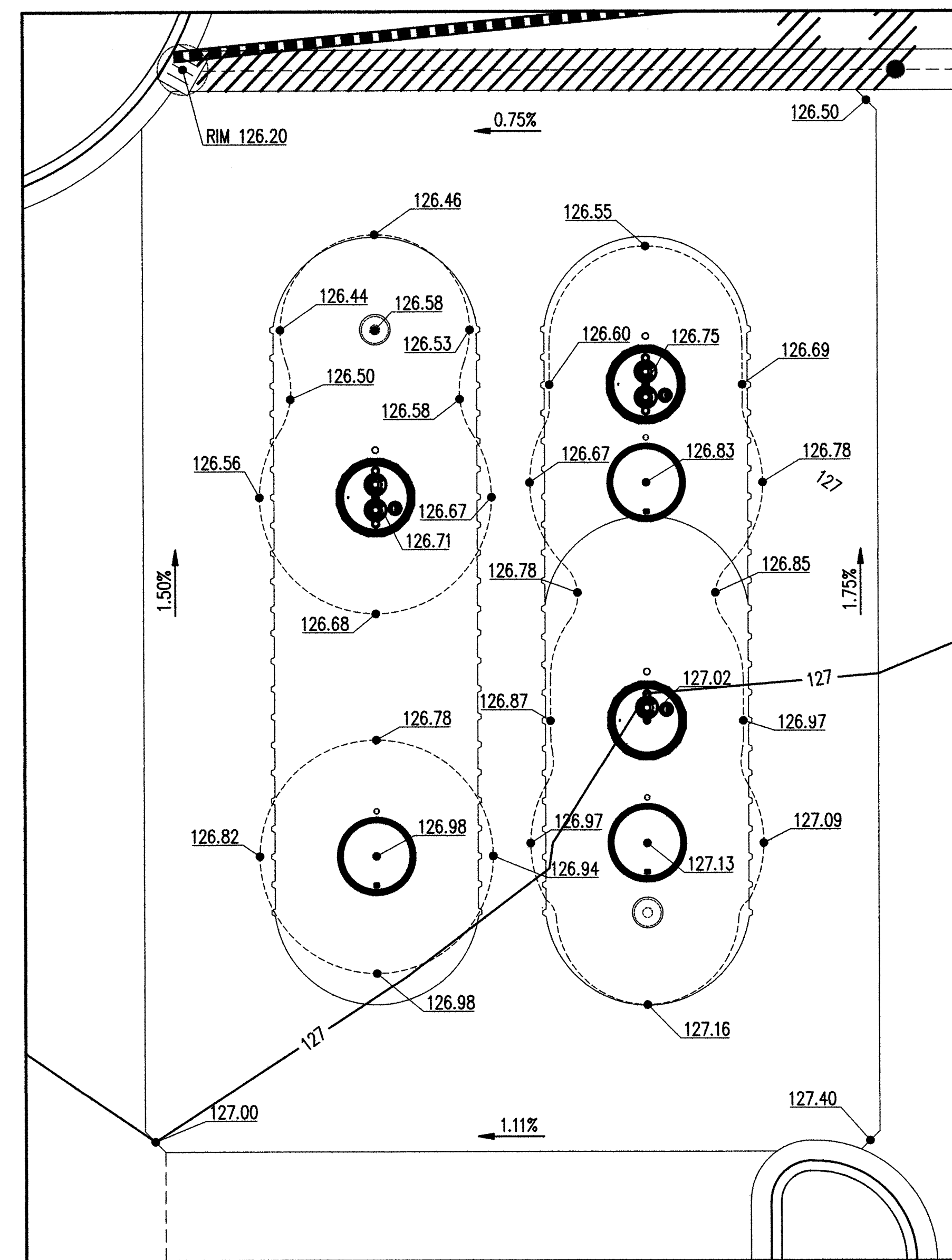
GRADING DETAIL #2

SCALE: 1" = 5'



GRADING DETAIL #3

SCALE: 1" = 5'



GRADING DETAIL #4

SCALE: 1" = 5'

ENGINEERS CONSTRUCTION RECORD CERTIFICATION
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DATE _____
 ENGINEER OF RECORD

AS-BUILT DRAWING APPROVAL
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
 BY: *Karen R. Stamas*
 City Engineer, CITY OF ARLINGTON
 DATE: 2/25/19

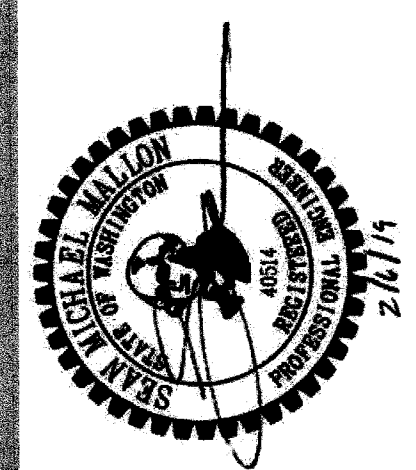
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NO.	DATE	DESCRIPTION

TAC	2/1/2019	AS-BUILT
CLF		
SMM	10-518-017	



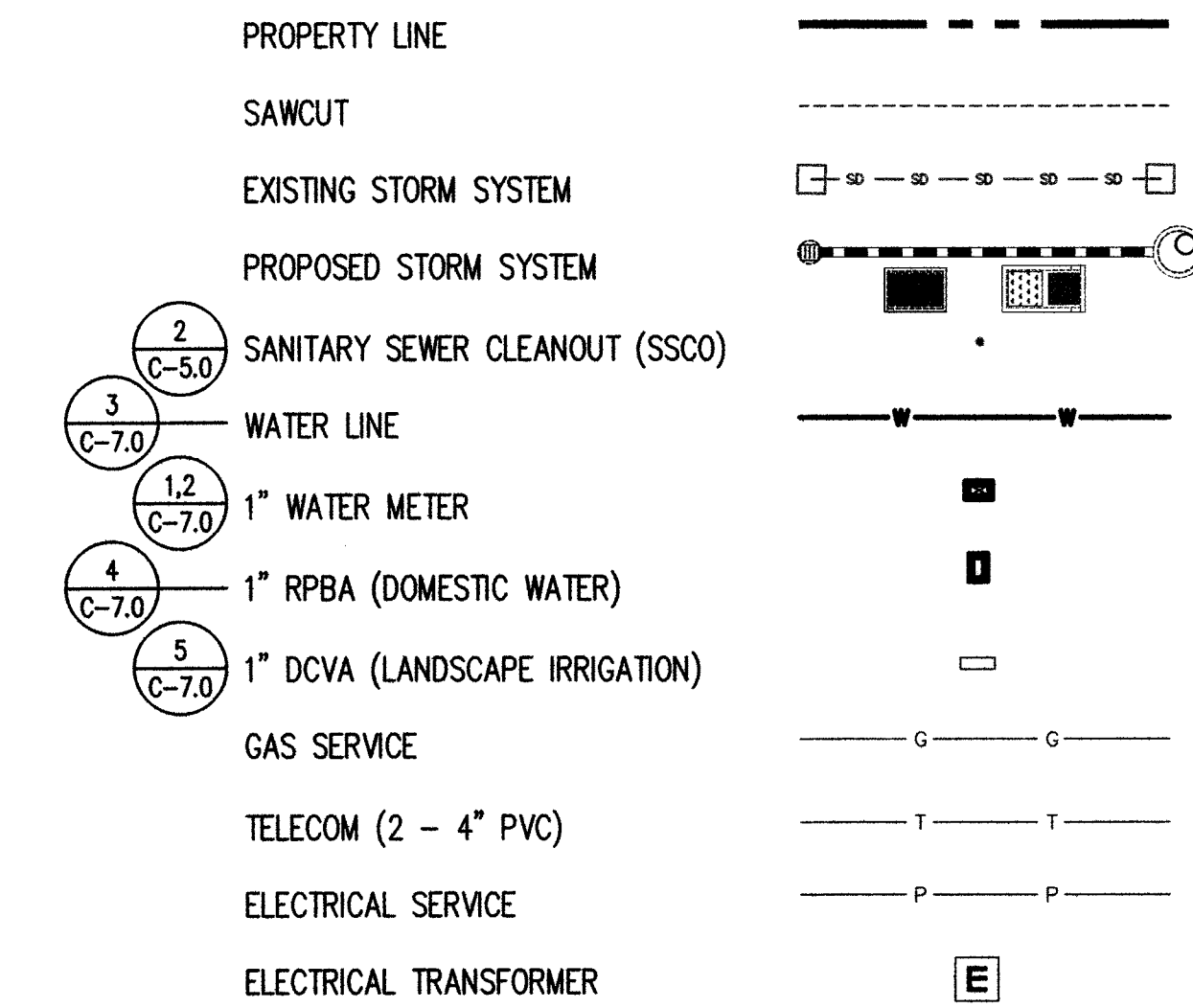
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7-ELEVEN
 PRAIRIE CREEK VILLAGE
 ARLINGTON, WA
 GRADING DETAILS AS-BUILT
 C-2.1

CONSTRUCTION KEY NOTES

- (1.2 / C-7.0) (A) INSTALL 2" COMMERCIAL DOMESTIC WATER SERVICE WITH 1" METER, PER COA STANDARD DETAIL W-050.
- (4 / C-7.0) (B) INSTALL 1" RPBA, PER COA STANDARD DETAIL W-130. **INSTALLED IN BUILDING**
- (5 / C-7.0) (C) INSTALL 1" DCVA FOR LANDSCAPE IRRIGATION, PER COA STANDARD DETAIL W-090.
- (D) LANDSCAPE IRRIGATION POINT OF CONNECTION. SEE LANDSCAPE PLANS FOR CONTINUATION.
- (3 / C-7.0) (E) INSTALL 1" (ADS POLYFLEX POTABLE PRESSURE PIPE OR APPROVED EQUAL) DOMESTIC WATER LINE.
- (F) CONNECT TO EXISTING GAS SERVICE. PUGET SOUND ENERGY (PSE) TO SIZE AND INSTALL GAS LINE AND METERS. CONTRACTOR TO PROVIDE ALL TRENCHING, BEDDING, AND BACKFILL PER PSE REQUIREMENTS.
- (G) CONNECT TO BUILDING SANITARY SEWER.
- (1 / C-5.0) (H) INSTALL 6" P.V.C. (ASTM D3034, SDR-35) SANITARY SEWER LINE AT 2% MINIMUM SLOPE.
- (2 / C-5.0) (I) INSTALL SANITARY SEWER CLEANOUT WITH CONCRETE COLLAR. ADJUST RIM TO FINISHED GRADE.
- (J) CONNECT TO EXISTING TELECOM SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER FOR NEW CONNECTION.
- (K) CONNECT TO EXISTING 6" SANITARY SEWER STUB. CONTRACTOR TO POTHOLE TO CONFIRM ELEVATION AND LOCATION PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY ENGINEER IF CONFLICT EXISTS.
- (L) SEE ARCHITECTURAL/ELECTRICAL PLAN FOR ROUTING TO SITE LIGHTING.
- (M) CONNECT TO BUILDING DOMESTIC WATER LINE.
- (N) CONNECT TO EXISTING ELECTRICAL CONDUIT STUB FOR PRIMARY POWER SERVICE TO NEW TRANSFORMER. CONTRACTOR TO COORDINATE WITH SNOPOD TO DETERMINE EXACT LOCATION.
- (O) REMOVE AND REPLACE EXISTING SIGN AS NEEDED FOR TRENCHING OF NEW UTILITIES.

LEGEND

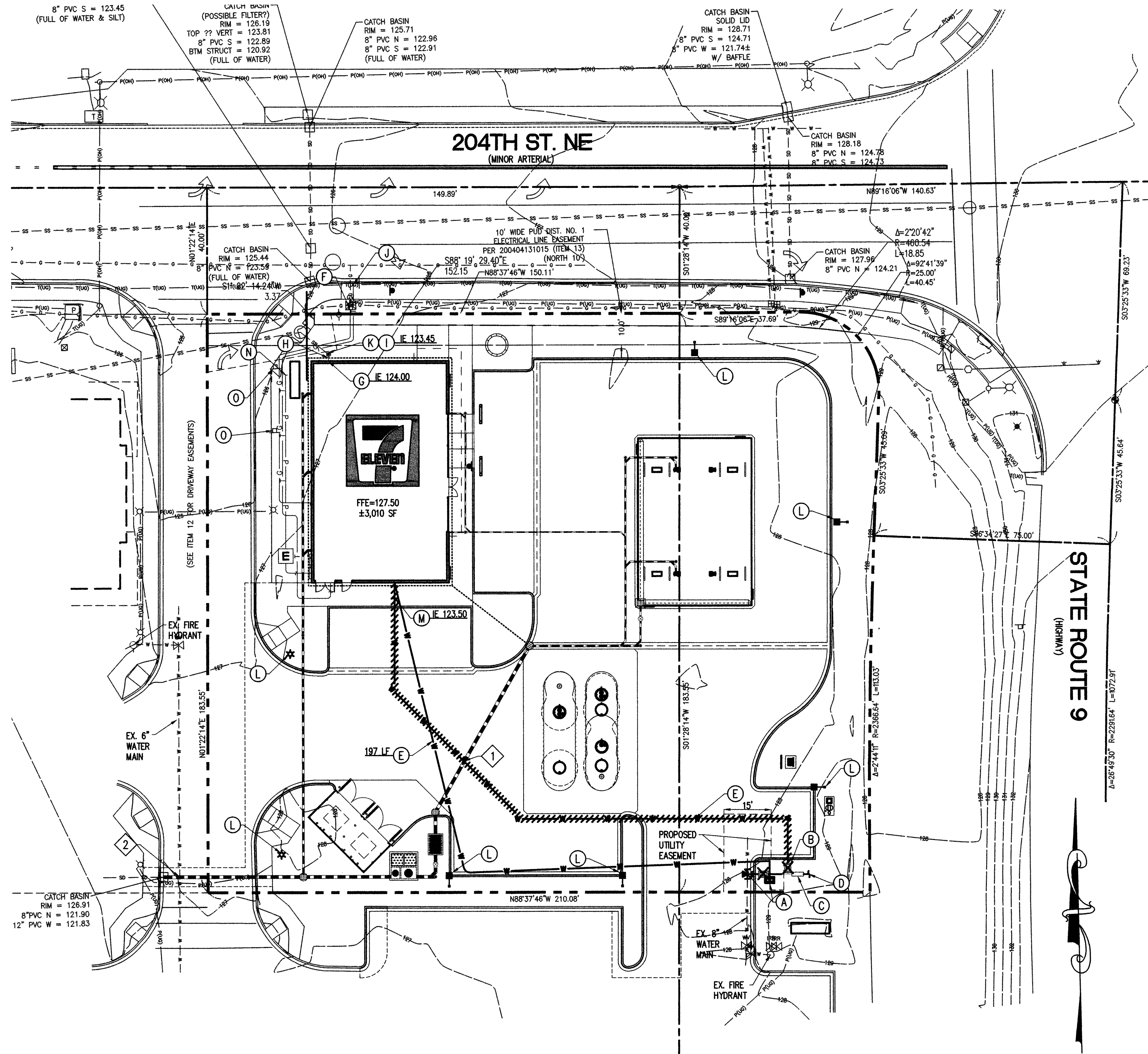


UTILITY CROSSING TABLE

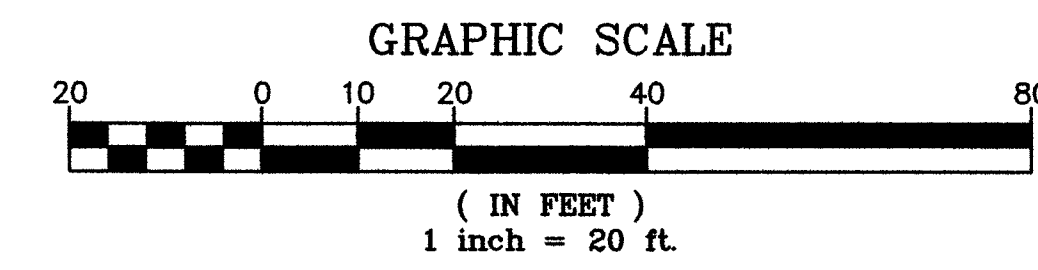
- 1 12" SD IE=123.90 2 6" W IE=123.50
- 1" W T/P=122.40 12" SD T/P=122.90

ALL UTILITIES CROSSING STORM DRAINAGE PIPES SHALL MAINTAIN 6" INCHES MINIMUM VERTICAL CLEARANCE.

(3 / C-6.2)



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AS-BUILT DRAWING APPROVAL
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
 BY: *[Signature]*
 City Engineer, CITY OF ARLINGTON
 DATE: 2/28/19

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No.	Date	By	Description

Designed By	TAC
Checked By	CLF
Drawn By	SKM
Date	2/1/2019
Project No.	AS-BUILT
Sheet No.	10-518-017

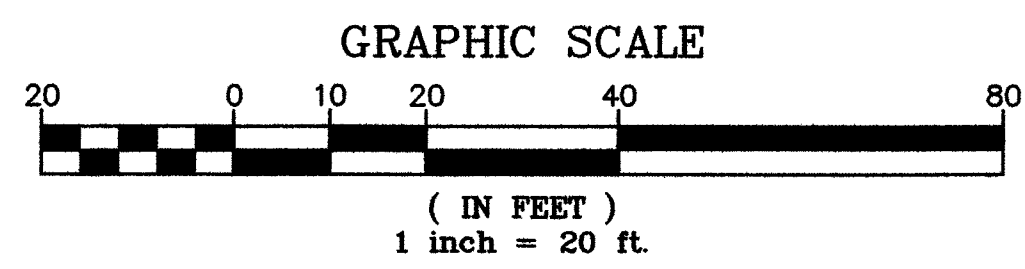
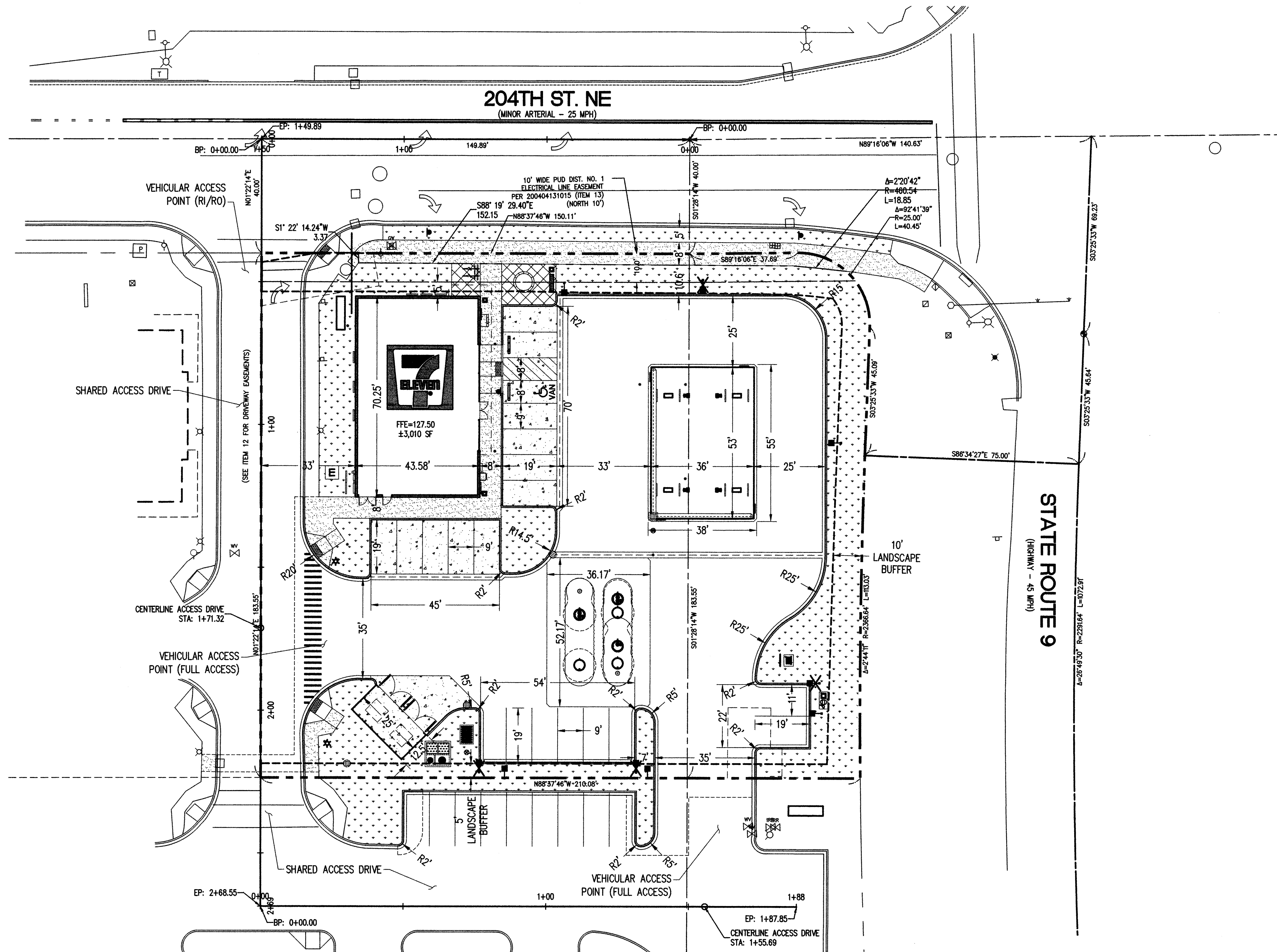
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7-ELEVEN
 PRAIRIE CREEK VILLAGE
 ARLINGTON, WA
 UTILITY PLAN AS-BUILT
 C-30

PORTION OF THE NE 1/4 OF THE NW 1/4 AND NW 1/4 OF THE NE 1/4 OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.

LEGEND

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPED AREA
- CONCRETE CURB & GUTTER
- PROPERTY LINE



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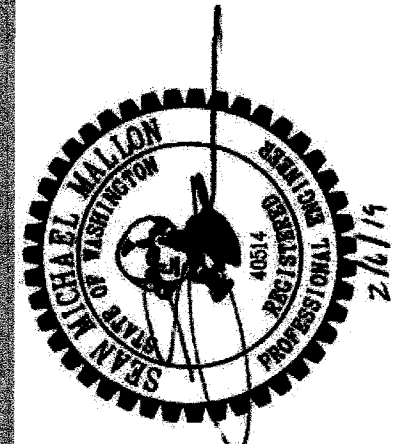
DATE _____
 ENGINEER OF RECORD _____

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 BY: *[Signature]*
 City Engineer, CITY OF ARLINGTON
 DATE: 2/28/19

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7-ELEVEN
 PRAIRIE CREEK VILLAGE
 ARLINGTON, WA
 HORIZONTAL CONTROL AS-BUILT

CONSTRUCTION KEY NOTES

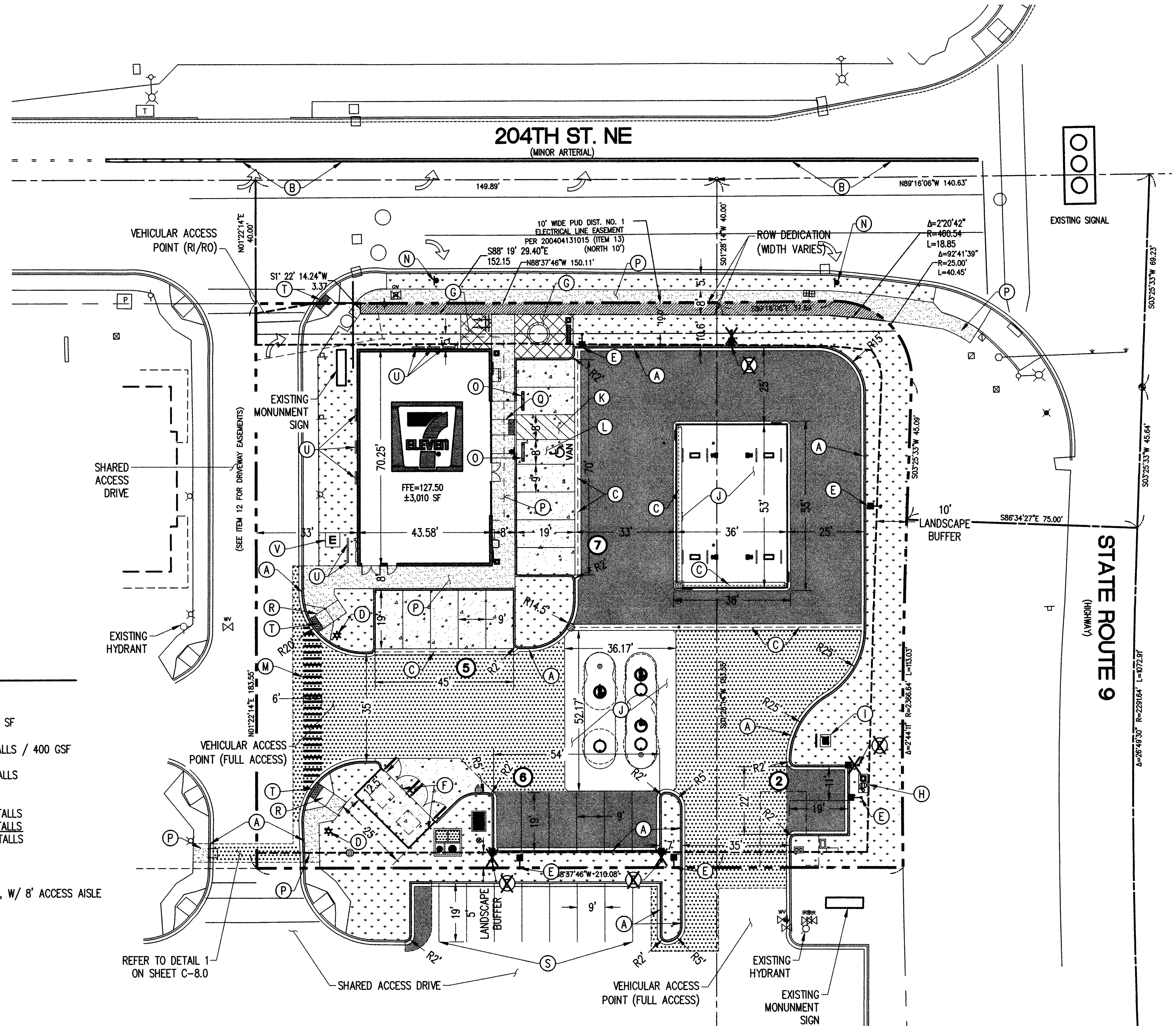
- (3) (C-8.0) (A) CEMENT CONCRETE CURB AND GUTTER.
- (5) (C-8.0) (B) MOUNTABLE MEDIAN CURB.
- (4) (C-8.0) (C) CONCRETE VALLEY GUTTER.
- (D) INSTALL SALVAGED LIGHT POLE W/ NEW BASE.
- (E) SITE LIGHT STANDARD AND BASE. SEE ARCH PLANS FOR DETAILS.
- (F) TRASH ENCLOSURE. SEE ARCH. PLANS FOR DETAILS.
- (G) PEDESTRIAN PLAZA AREA. SEE ARCH. PLANS FOR DETAILS.
- (H) AIR COMPRESSOR, TRASH CAN, AND CONCRETE PAD. SEE ARCH. PLANS FOR DETAILS.
- (I) UNDERGROUND FUEL STORAGE TANK VENTS. SEE ARCH. PLANS FOR DETAILS.
- (J) CONCRETE PAD FOR FUEL CANOPY AND UNDERGROUND FUEL STORAGE TANKS. SEE ARCH. PLANS FOR DETAILS.
- (K) AREA STRIPED WITH SINGLE WHITE (4") LINES AT 45° - 2'-0" O.C.
- (6) (C-8.0) (L) ADA STALL W/ SIGN, SLOPE IN ADA STALLS AND LANDING AREAS SHALL BE NOT MORE THAN 2% IN ANY DIRECTION.
- (5) (C-8.1) (M) CROSSWALK.
- (N) INSTALL SALVAGED SIGN, "RIGHT TURN MUST TURN RIGHT".
- (6) (C-8.1) (O) PRECAST CONCRETE WHEEL STOP.
- (2) (C-8.0) (P) CONCRETE SIDEWALK.
- (1) (C-8.2) (Q) PARALLEL CURB RAMP, TYPE A.
- (2) (C-8.2) (R) PERPENDICULAR CURB RAMP, TYPE A.
- (S) RE-STRIPE PARKING STALLS W/ SINGLE WHITE (4") STRIPE.
- (3) (C-8.2) (T) DETECTABLE WARNING SURFACE.
- (U) TRELLIS. SEE ARCH. AND LANDSCAPE PLANS FOR DETAILS.
- (V) ELECTRICAL TRANSFORMER.

LEGEND

- (3) (C-8.1) CONCRETE PAVEMENT
- (4) (C-8.1) CONCRETE SIDEWALK PAVEMENT
- (2) (C-8.1) HEAVY DUTY A.C. PAVEMENT
- (1) (C-8.1) STANDARD DUTY A.C. PAVEMENT
- LANDSCAPED AREA
- ROW DEDICATION AREA
- (3) (C-8.0) CONCRETE CURB & GUTTER
- PROPERTY LINE
- SIGN
- PARKING STALLS PER ROW
- (6) (C-8.1) PRECAST CONCRETE WHEEL STOP
- SAWCUT
- PROPOSED LIGHT STANDARD & BASE (SEE ARCH PLANS FOR DETAILS)
- SALVAGED LIGHT STANDARD (SEE ARCH PLANS FOR DETAILS)

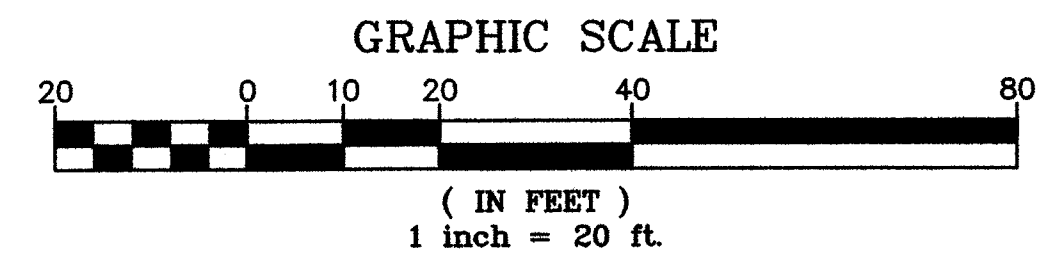
PARKING DATA

REQUIRED PARKING	
APPLICABLE BUILDING AREA	2,111 CONVENIENCE STORE = 3,010 SF
REQUIRED PARKING RATIO	= 1 STALLS / 400 GSF
TOTAL REQUIRED	= 8 STALLS
PARKING PROVIDED	
STANDARD STALLS	= 19 STALLS
ACCESSIBLE STALLS	= 1 STALLS
TOTAL STALLS	= 20 STALLS
PARKING STALL DIMENSIONS	
STANDARD STALLS	19' X 9'
ADA STALLS	19' X 8', W/ 8' ACCESS AISLE



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 BY: *[Signature]*
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 DATE: 2/28/19



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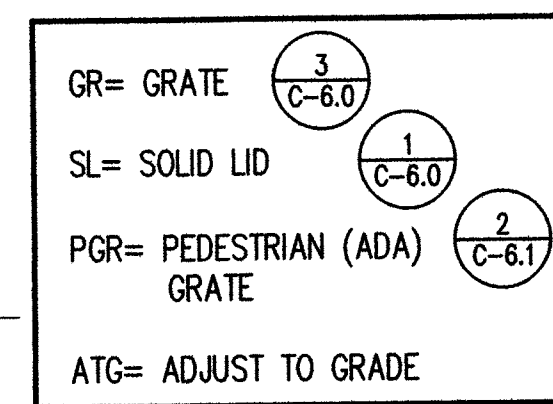
2/1/2019 AS-BUILT	TAC	CLF	SMM	10-518-017
7-ELEVEN PRAIRIE CREEK VILLAGE ARLINGTON, WA SITE PLAN AS-BUILT				
C-11				

CONSTRUCTION KEY NOTES

- (A) INSTALL 12" PVC BALL VALVE (NORMALLY OPEN) IN CAST IRON BOX. SET VALVE BOX MIN. 2' DOWNSTREAM OF OIL/WATER SEPARATOR AND FLUSH WITH FINISHED GRADE. PROVIDE CONCRETE COLLAR AROUND VALVE BOX. PROVIDE MATCHING T-HANDLE, SET TO WORKING HEIGHT.
- (B) CONNECT TO BUILDING ROOF DRAIN LEADER, IE=125.70.
- (C) INSTALL 4" PERFORATED PVC (SCH.40) FOOTING DRAIN PLACED AT THE BASE OF THE HEEL OF THE FOOTING WITH PERFORATIONS FACING DOWN. THE PIPE SHALL BE SURROUNDED BY MIN. 4" CLEAN FREE-DRAINING ROCK (WSDOT STD. SPC. 9-03.12(4)). MIRAFI 140N, OR EQUIVALENT, SHALL BE PLACED AROUND DRAINAGE ROCK.
- (D) CONNECT TO CANOPY ROOF DRAIN LEADER, IE=125.20. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION.
- (E) CONTRACTOR TO FIELD VERIFY ELEVATION AND LOCATION PRIOR TO TRENCHING OF NEW STORM DRAIN LINE. NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
- (F) CORE DRILL INTO EXISTING CATCH BASIN TO INSTALL NEW STORM PIPE. GROUT AROUND PENETRATION USING A NON-SHRINKING MORTAR TO OBTAIN A WATERTIGHT CONNECTION. CONTRACTOR SHALL ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING MANHOLE IS NOT COMPROMISED AS A RESULT OF THE ADDED PIPE CONNECTION. **NEW 12" PIPE NOT INSTALLED. EXISTING 8" PIPE USED.**
- (G) INSTALL 6" PVC BALL VALVE (NORMALLY CLOSED) IN CAST IRON BOX. SET VALVE BOX MIN. 3' DOWNSTREAM OF TYPE 1 CATCH BASIN AND FLUSH WITH FINISHED GRADE. PROVIDE CONCRETE COLLAR AROUND VALVE BOX. PROVIDE MATCHING T-HANDLE, SET TO WORKING HEIGHT.

STORM STRUCTURE/CLEANOUT SCHEDULE

- | | | | | |
|---|--|---|--|--|
| 1 EX. TY. 1-CB*
RIM=126.91
IE(EX 8"N)=±121.90
IE(EX 12"W)=±121.83
IE(12"E)=121.87
IE(EX 8"E)=±121.83 | 2 PVC CATCH BASIN, SL
RIM=126.25 127.44
IE(12"E,W)=±122.05 122.09
IE(8"N)=±122.05 121.99
IE(8"W)=122.03 | 3 MODULAR WETLAND
RIM=126.51
IE(12"W)=±122.10 122.46
IE(8"N)=±122.05 121.99
IE(12"E)= ±123.69 123.90 | 4 SDCO
RIM=ATG
IE=123.72 | 5 O/W SEPARATOR
RIM=126.10 128.15
IE(12"N,S)=±123.76 123.99
SEE DETAIL 1, SHEET C-6.2 |
| 6 PVC CATCH BASIN, SL
RIM=127.15 127.13
IE(12"N,S)=123.80
IE(12"NE)=124.01
IE(12" S)=123.99 | 7 PVC CATCH BASIN, GR
RIM=126.26 126.25
IE(12"S)=±124.10 124.15
IE(8"E)=±124.10 124.09
IE(8" W)=±124.10 124.43 | 8 TYPE 1 CB, PGR
RIM=126.86 126.76
IE(6"S)=±124.57 124.68
STRUCTURE MUST PROVIDE A MINIMUM 3" SUMP BELOW OUTLET PIPE INVERT FOR SPILL CONTROL. | 9 SDCO
RIM=ATG 126.65
IE=124.45 | 10 SDCO
RIM=ATG 127.08
IE=124.80 |
| 11 SDCO
RIM=ATG 127.05
IE=125.00 | 12 SDCO
RIM=ATG 127.34
IE=125.16 | 13 SDCO
RIM=ATG 126.82
IE=125.27 | 14 SDCO
RIM=ATG 126.90
IE=125.65 | 15 SDCO NOT INSTALLED
RIM=ATG
IE=123.26 |
| 16 SDCO
RIM=ATG
IE=124.35 | | | | |



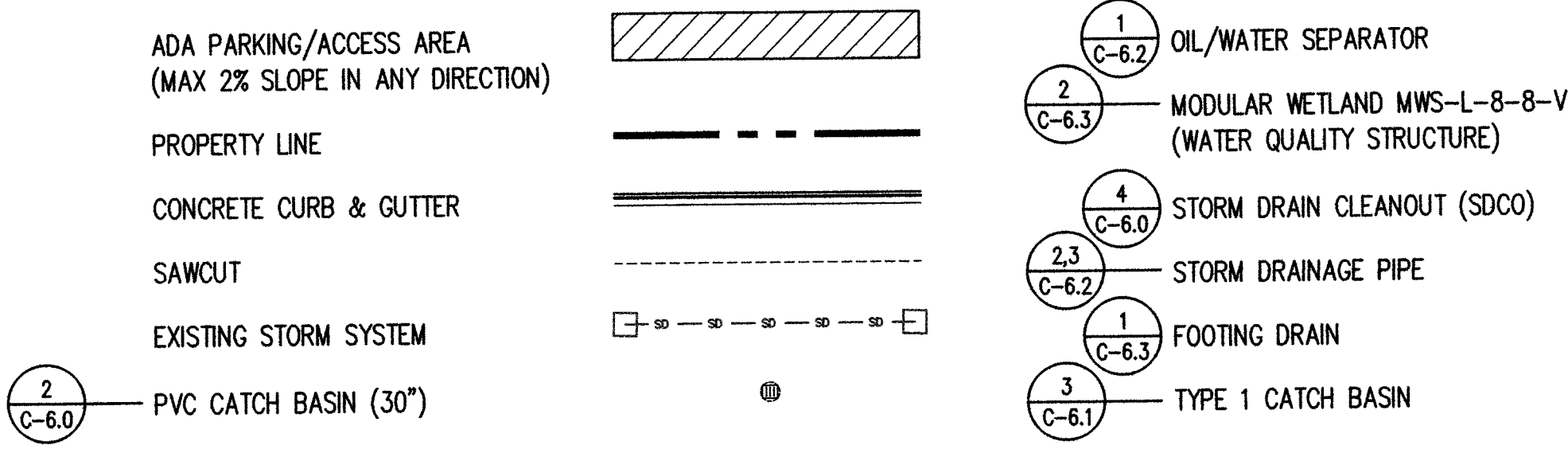
- CLEANOUTS SHALL HAVE RISER, CAST IRON LID (FLUSH W/ FINISHED GRADE), AND CONCRETE COLLAR.
- PVC DRAIN BASINS SHALL HAVE A 1" WIDE BY 6" DEEP CONCRETE COLLAR IN LANDSCAPE AREAS.
- *ALL CONNECTIONS TO STORM STRUCTURES SHALL BE WATERTIGHT UTILIZING A NON-POROUS, NON-SHRINKING GROUT.

STORM DRAINAGE PIPE SCHEDULE

- | | | | | |
|--|--|--|---------------------------------------|--|
| 1 12" CPEP EX 8"
L=44' 39"
S=0.50% | 2 12" CPEP
L=28' 32"
S=0.50% 1.16% | 3 12" CPEP
L=14' 11"
S=0.50% 0.80% | 4 12" CPEP
L=7' 6"
S=0.50% 0.0% | 5 12" CPEP
L=64' 62"
S=0.50% 0.21% |
| 6 8" CPEP
L=35' 33"
S=1.00% 1.40% | 7 6" CPEP
L=13' 10"
S=1.00% 1.40% | 8 6" CPEP
L=66' 51"
S=1.00% | 9 6" CPEP
L=19' 24"
S=1.00% | 10 6" CPEP
L=19' 24"
S=1.00% |
| 11 4" CPEP
L=56' 39"
S=1.00% | 12 4" CPEP
L=38"
S=1.00% | 13 8" CPEP
L=153"
S=1.50% | | |

- CORRUGATED POLYETHYLENE PIPE (CPEP) SHALL BE ADS N-12 WT W/ SMOOTH INTERIOR (N=0.012) & 10.8 PSI JOINTS.
- PIPE SHALL HAVE 1-FOOT MIN. COVER IN PAVED AREAS FROM TOP OF BASE COURSE TO TOP OF PIPE.
- PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS NOTED OTHERWISE.

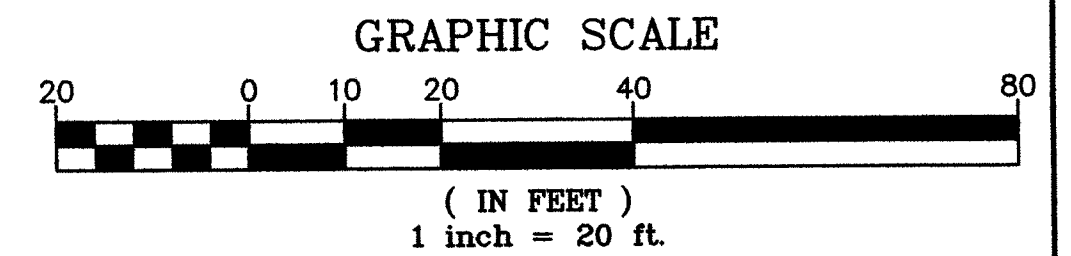
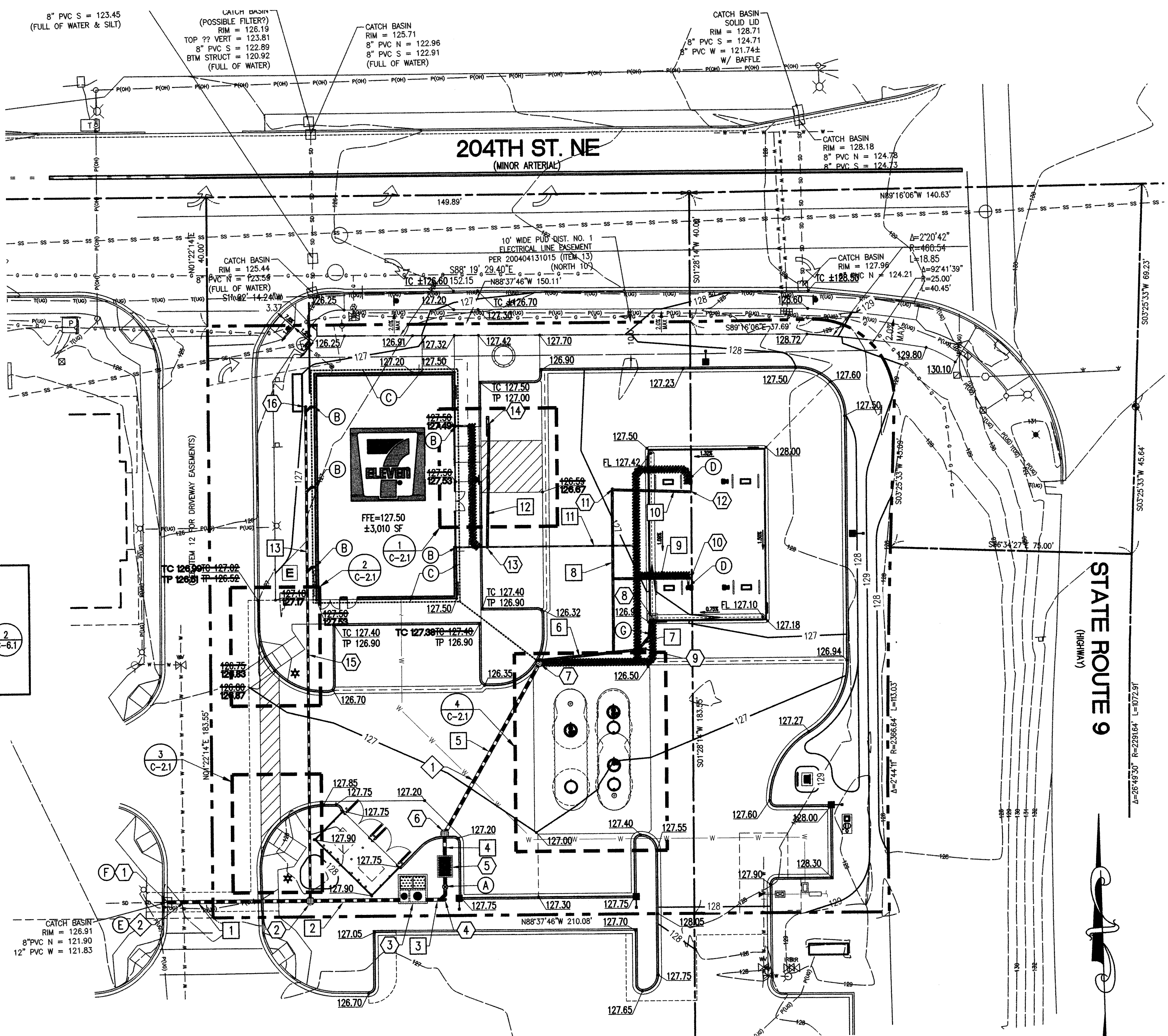
LEGEND



UTILITY CROSSING TABLE

1 12" SD IE=123.90 1" W T/P=122.40	2 6" W IE=123.50 12" SD T/P=122.90
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ALL UTILITIES CROSSING STORM DRAINAGE PIPES SHALL MAINTAIN 6" INCHES MINIMUM VERTICAL CLEARANCE.



ENGINEERS CONSTRUCTION RECORD CERTIFICATION
 THIS PLAN HAS BEEN REVIEWED FOR CONFORMANCE WITH THE DESIGN INTENT. THIS PLAN, AS MODIFIED HEREIN, REPRESENTS THE RECORD CONDITIONS OF THE NEW CONSTRUCTION SHOWN, BASED UPON A LIMITED SURVEY PROVIDED BY INFORMED LAND SURVEY 1-28-2019 AND CONTRACTOR RECORDS/REDLINES. THIS DOCUMENT DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE ENGINEER HEREBY CERTIFIES THAT, BASED UPON THE METHODOLOGY DESCRIBED ABOVE, CONSTRUCTION SHOWN IS CONSISTENT WITH THE DESIGN INTENT EXCEPT AS NOTED, AND ACCURATELY REPRESENTS THE EXISTING CONDITIONS, PER CONTRACTOR AND SURVEYOR PROVIDED RECORD INFORMATION.

DATE: _____
 ENGINEER OF RECORD: _____

AS-BUILT DRAWING APPROVAL
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
 BY: *Ngan A. Huan*
 CIVIL ENGINEER, CITY OF ARLINGTON
 DATE: 2/23/19

7-ELEVEN
 PRAIRIE CREEK VILLAGE
 ARLINGTON, WA
 GRADING AND DRAINAGE AS-BUILT
 C-20

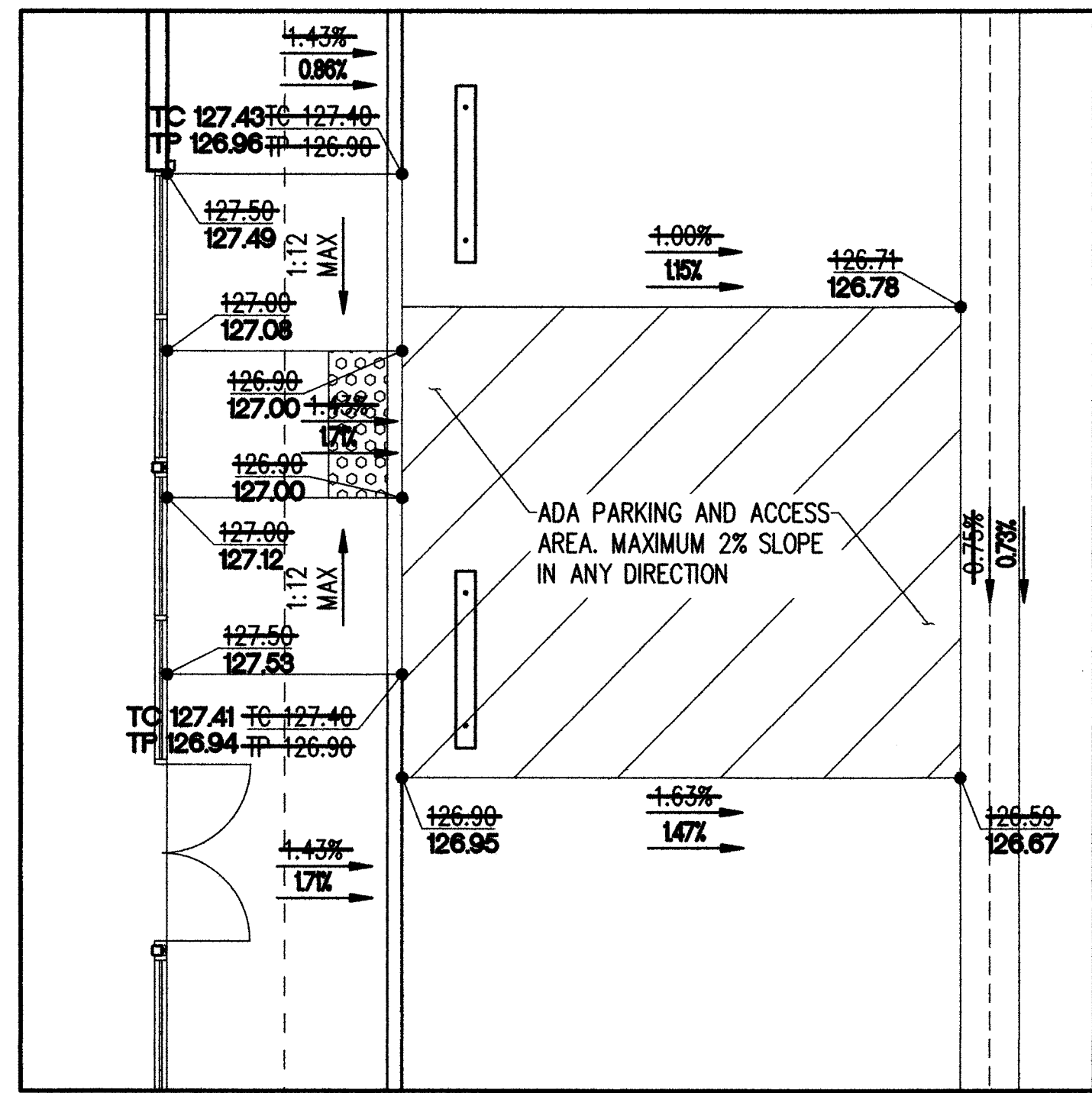
Designed By: TAC
 Drawn By: CLF
 Checked By: SAM

Issue Date: 2/1/2019
 AS-BUILT
 Project No: 10-518-017

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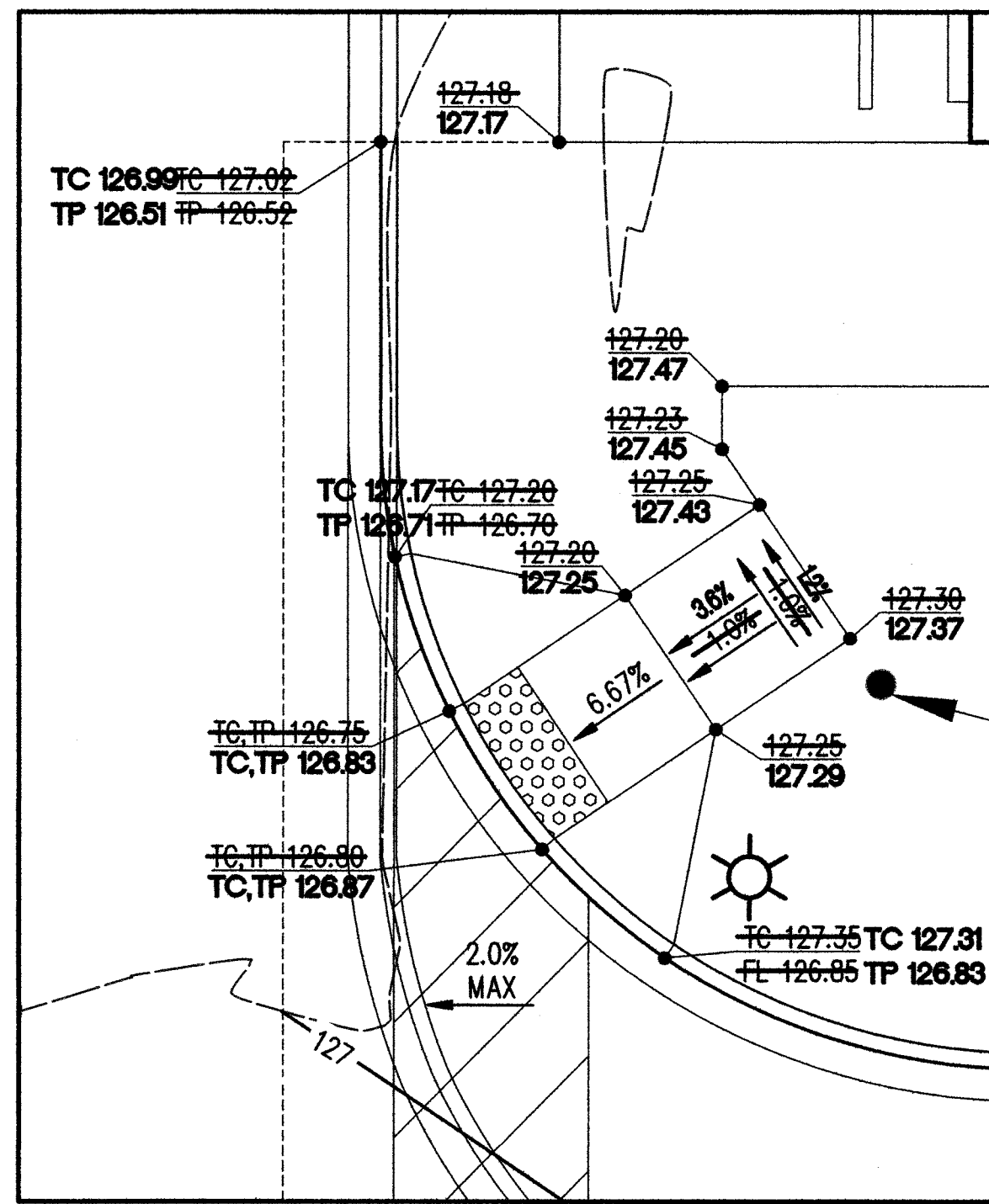
STATE ROUTE 9 (VMBR)

PORTION OF THE NE ¼ OF THE NW ¼ AND NW ¼ OF THE NE ¼ OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.



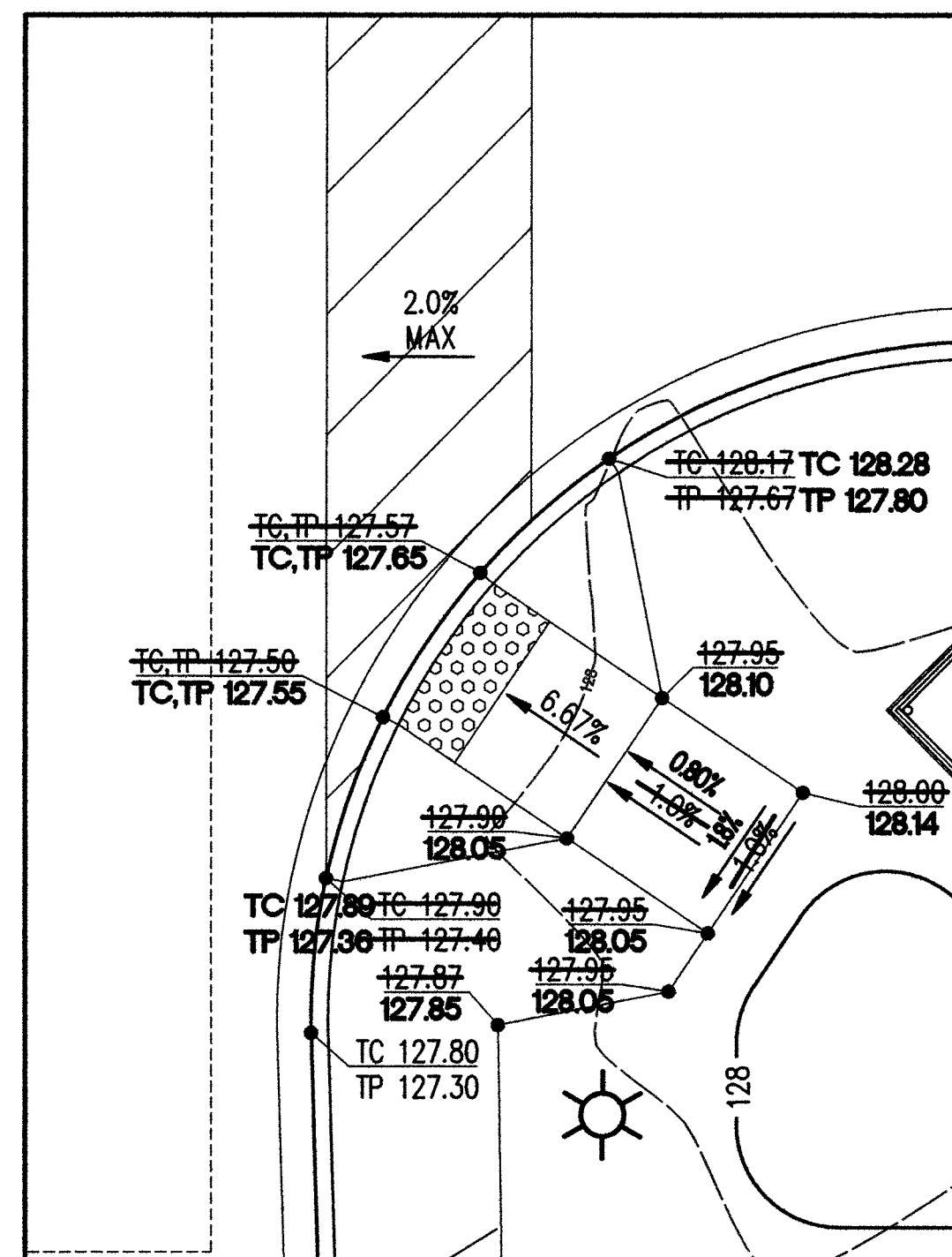
GRADING DETAIL #1

SCALE: 1" = 5'



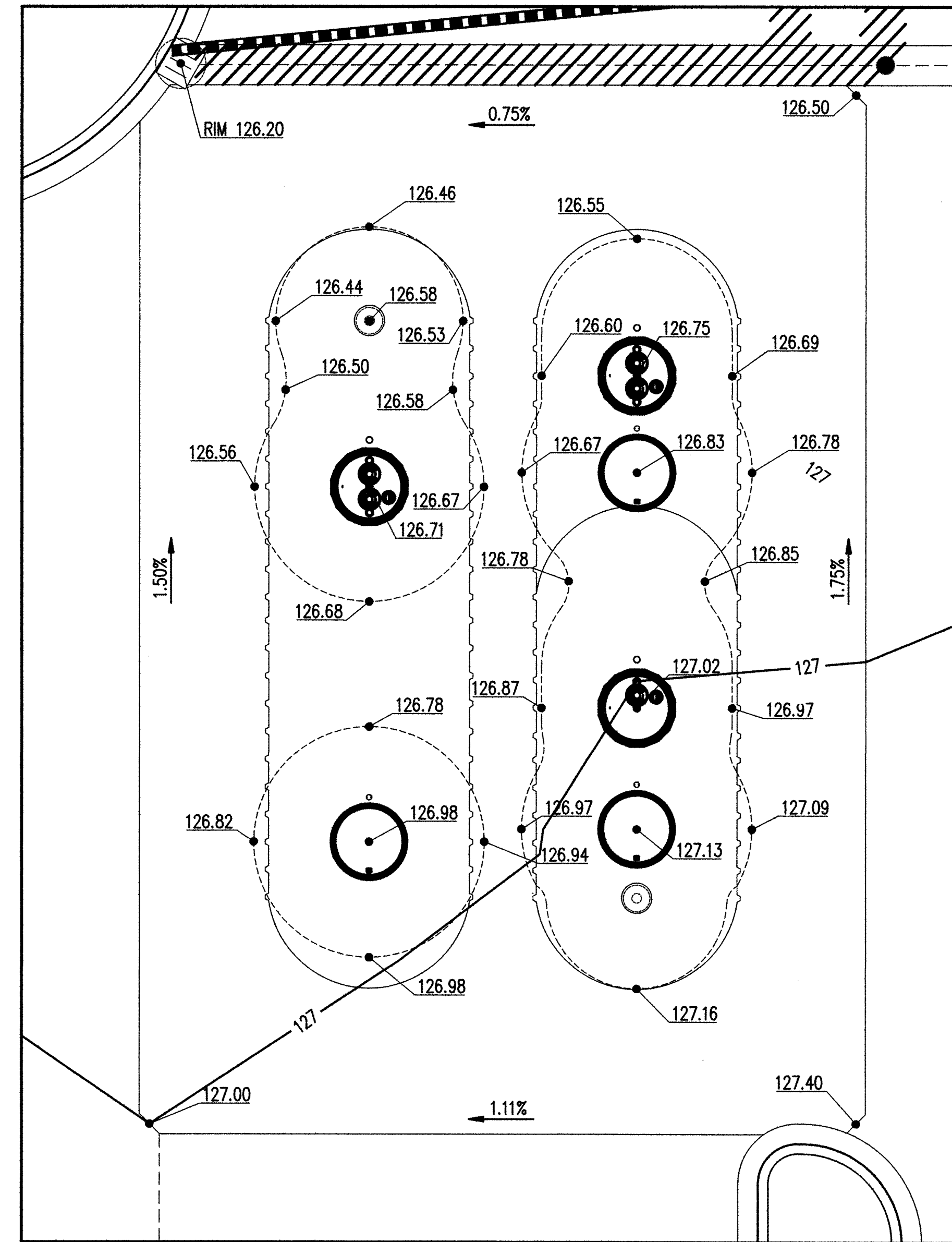
GRADING DETAIL #2

SCALE: 1" = 5'



GRADING DETAIL #3

SCALE: 1" = 5'



GRADING DETAIL #4

SCALE: 1" = 5'

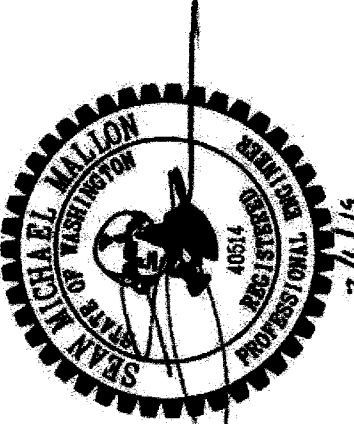
ENGINEERS' CONSTRUCTION RECORD CERTIFICATION
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ENGINEER OF RECORD _____ DATE _____

AS-BUILT DRAWING APPROVAL
 THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
 BY: *[Signature]*
 City-Engineer, CITY OF ARLINGTON
 DATE: 2/28/19



TAC	2/1/2019	AS-BUILT
CLF		
SMN		10-518-017



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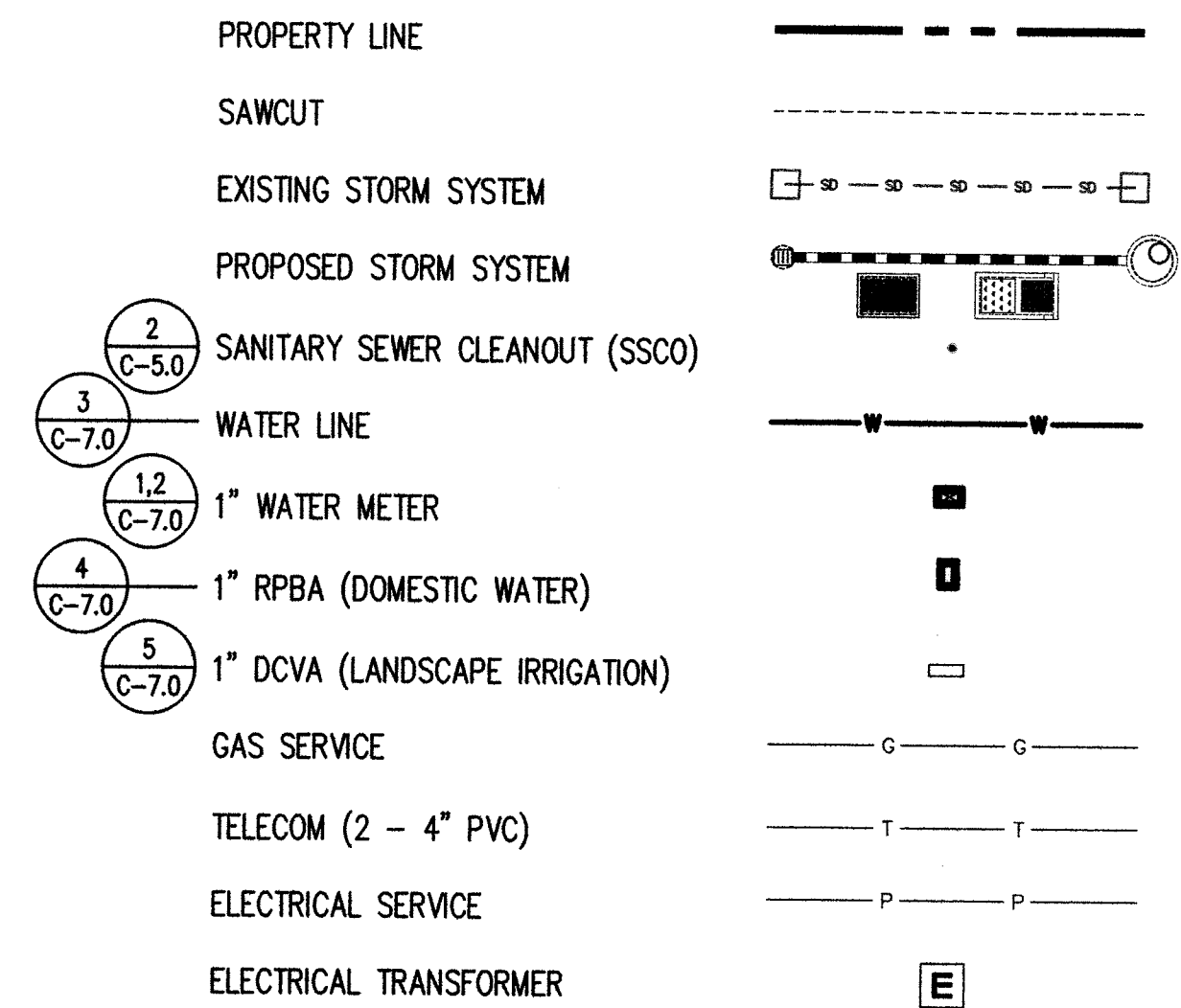
7-ELEVEN
 PRAIRIE CREEK VILLAGE
 ARLINGTON, WA
 GRADING DETAILS AS-BUILT

PORTION OF THE NE 1/4 OF THE NW 1/4 AND NW 1/4 OF THE NE 1/4 OF SECTION 14, TWP 31 N, RANGE 5 E, W.M.

CONSTRUCTION KEY NOTES

- (1.2 / C-7.0) (A) INSTALL 2" COMMERCIAL DOMESTIC WATER SERVICE WITH 1" METER, PER COA STANDARD DETAIL W-050.
- (4 / C-7.0) (B) INSTALL 1" RPBA, PER COA STANDARD DETAIL W-130. **INSTALLED IN BUILDING**
- (5 / C-7.0) (C) INSTALL 1" DCVA FOR LANDSCAPE IRRIGATION, PER COA STANDARD DETAIL W-090.
- (D) LANDSCAPE IRRIGATION POINT OF CONNECTION. SEE LANDSCAPE PLANS FOR CONTINUATION.
- (3 / C-7.0) (E) INSTALL 1" (ADS POLYFLEX POTABLE PRESSURE PIPE OR APPROVED EQUAL) DOMESTIC WATER LINE.
- (F) CONNECT TO EXISTING GAS SERVICE. PUGET SOUND ENERGY (PSE) TO SIZE AND INSTALL GAS LINE AND METERS. CONTRACTOR TO PROVIDE ALL TRENCHING, BEDDING, AND BACKFILL PER PSE REQUIREMENTS.
- (G) CONNECT TO BUILDING SANITARY SEWER.
- (1 / C-5.0) (H) INSTALL 6" P.V.C. (ASTM D3034, SDR-35) SANITARY SEWER LINE AT 2% MINIMUM SLOPE.
- (2 / C-5.0) (I) INSTALL SANITARY SEWER CLEANOUT WITH CONCRETE COLLAR. ADJUST RIM TO FINISHED GRADE.
- (J) CONNECT TO EXISTING TELECOM SERVICE. CONTRACTOR TO COORDINATE WITH SERVICE PROVIDER FOR NEW CONNECTION.
- (K) CONNECT TO EXISTING 6" SANITARY SEWER STUB. CONTRACTOR TO POT HOLE TO CONFIRM ELEVATION AND LOCATION PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY ENGINEER IF CONFLICT EXISTS.
- (L) SEE ARCHITECTURAL/ELECTRICAL PLAN FOR ROUTING TO SITE LIGHTING.
- (M) CONNECT TO BUILDING DOMESTIC WATER LINE.
- (N) CONNECT TO EXISTING ELECTRICAL CONDUIT STUB FOR PRIMARY POWER SERVICE TO NEW TRANSFORMER. CONTRACTOR TO COORDINATE WITH SNOPOD TO DETERMINE EXACT LOCATION.
- (O) REMOVE AND REPLACE EXISTING SIGN AS NEEDED FOR TRENCHING OF NEW UTILITIES.

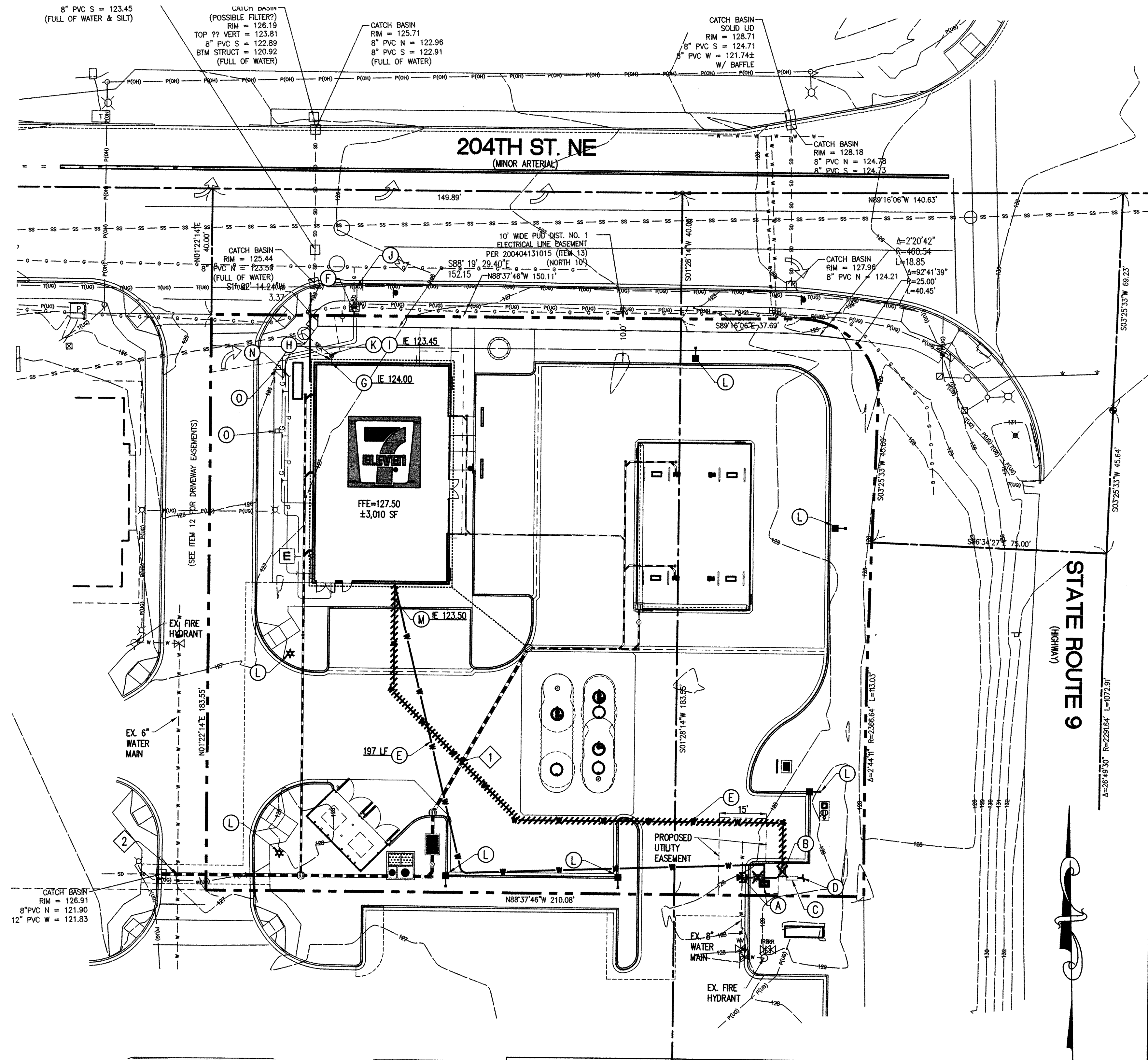
LEGEND



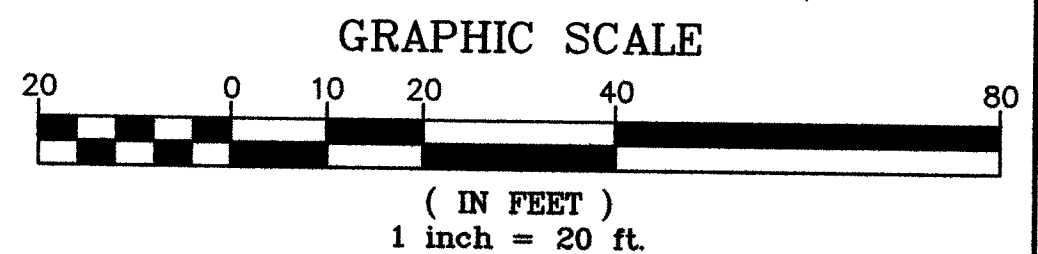
UTILITY CROSSING TABLE

1	12" SD IE=123.90 1" W T/P=122.40	2	6" W IE=123.50 12" SD T/P=122.90
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ALL UTILITIES CROSSING STORM DRAINAGE PIPES SHALL MAINTAIN 6" INCHES MINIMUM VERTICAL CLEARANCE. (3 / C-6.2)



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AS-BUILT DRAWING APPROVAL
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 BY: *[Signature]*
 City Engineer, CITY OF ARLINGTON
 DATE: 2/28/19

No.	Date	By	Description

Prepared By	TAC	Date	2/1/2019
Checked By	CLF	As-Built	AS-BUILT
Scale	SMM	Project No.	10-518-017

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7-ELEVEN
 PRAIRIE CREEK VILLAGE
 ARLINGTON, WA
 UTILITY PLAN AS-BUILT

C-30

S:\Washington\Arlington\CADENCE\SR-9 & 204TH ST NE\2DWGS\AS-BUILT\Plns\CAAR130UAB.dwg Feb 06, 2019 - 3:58pm