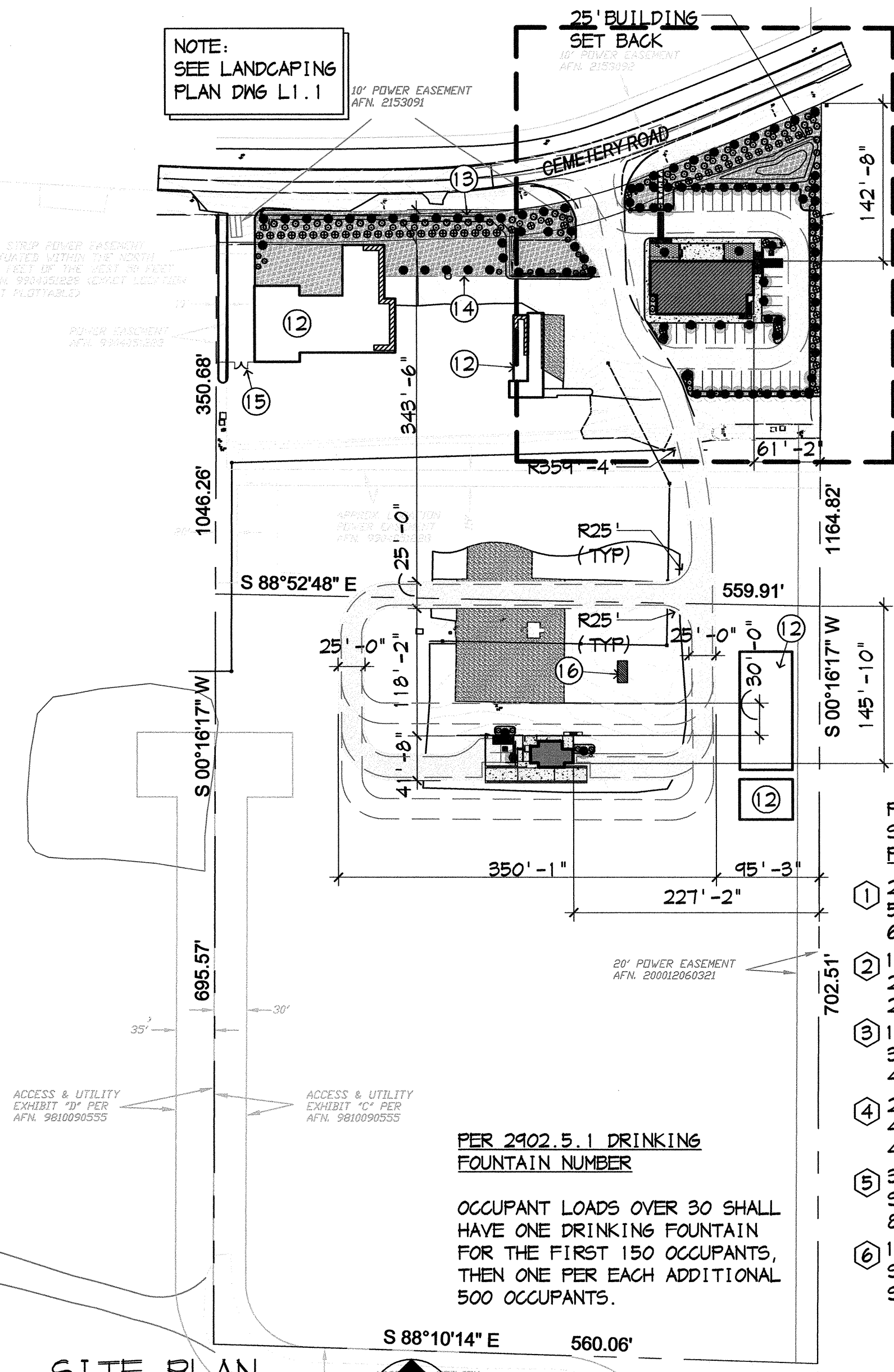
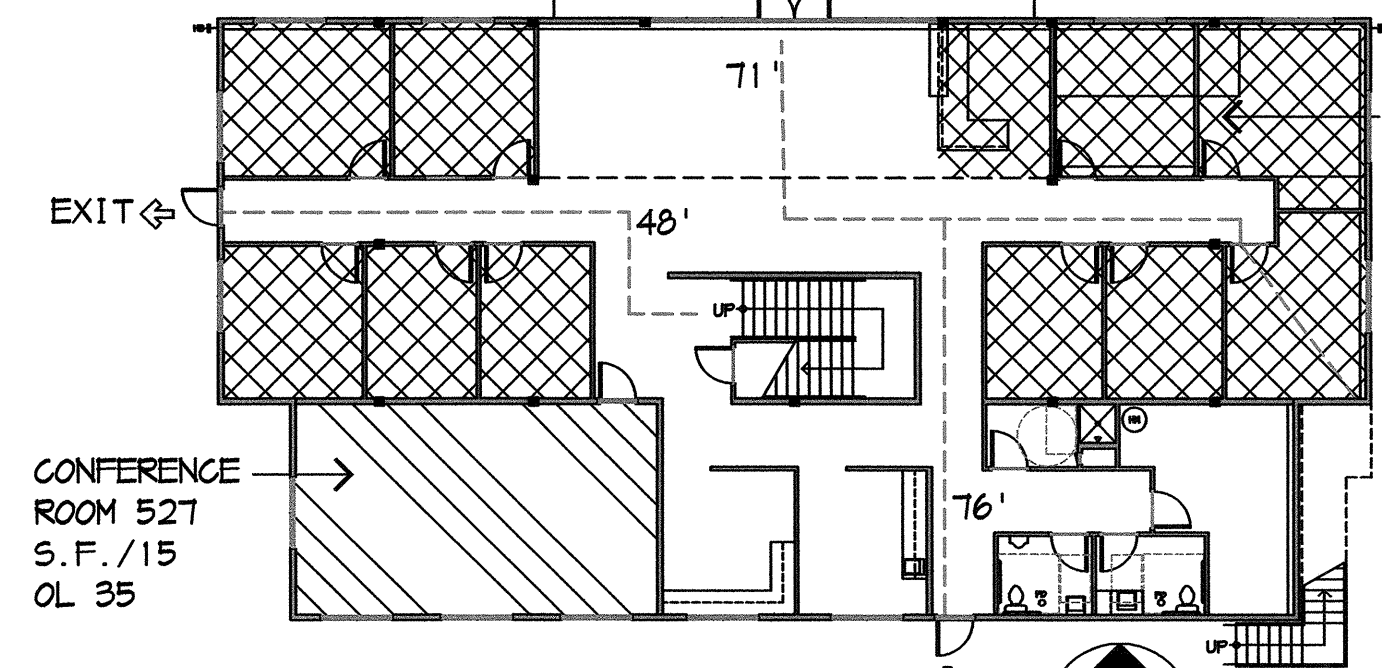


NOTE:
SEE LANDSCAPING
PLAN DWG L1.1

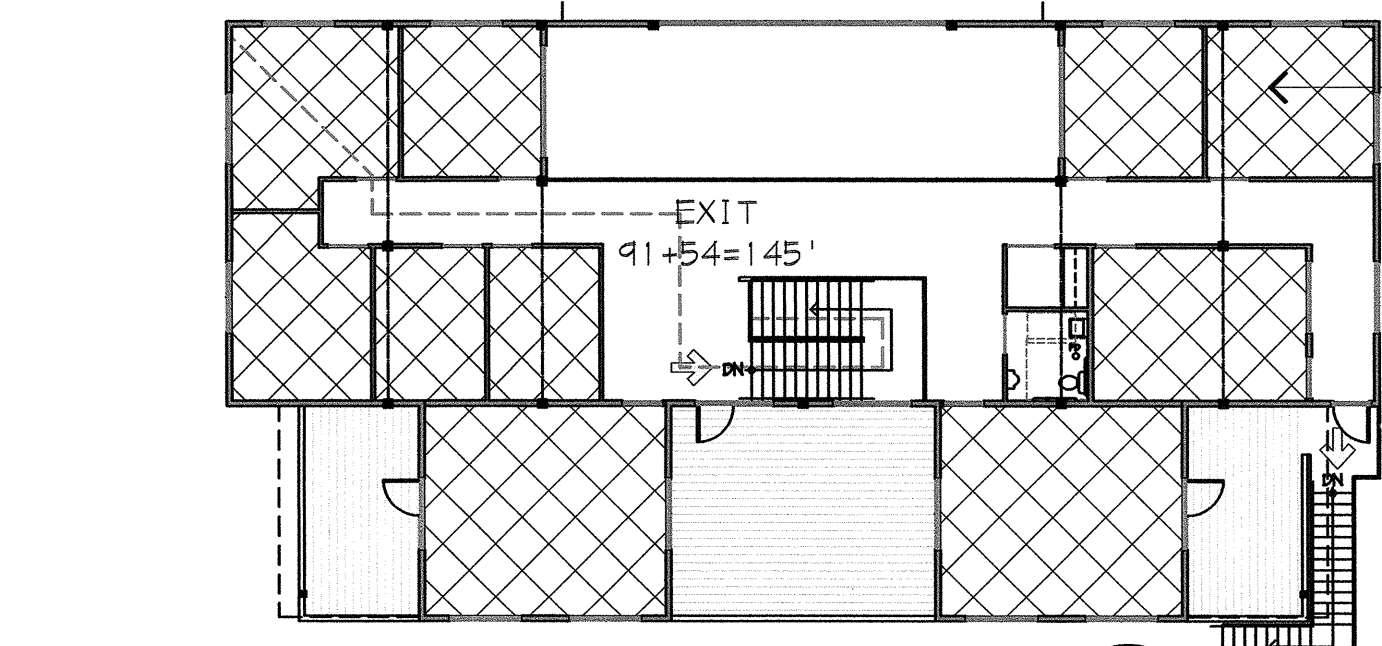


SITE PLAN

1" = 100'-0"



OCCUPANCY PLAN MAIN FLOOR



OCCUPANCY PLAN UPPER FLOOR

PER 20.76.130 SHADE TREES IN PARKING AREA

- 1 2,874 S.F. * .20 = 575 S.F. OF SHADE 673 S.F. PROVIDED
- 2 1,198 S.F. * .20 = 239 S.F. OF SHADE 276 S.F. PROVIDED
- 3 1,881 S.F. * .20 = 376 S.F. OF SHADE 403 S.F. PROVIDED
- 4 2,038 S.F. * .20 = 407 S.F. OF SHADE 468 S.F. PROVIDED
- 5 328 S.F. * .20 = 67 S.F. OF SHADE 80 S.F. PROVIDED
- 6 171 S.F. * .20 = 34 S.F. OF SHADE 57 S.F. PROVIDED

SITE PLAN

1" = 20'-0"

SITE PLAN NOTES

1. ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 1 DWG A1.2
2. PAINTED PARKING STRIPING. 4" WIDE LINES. LENGTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
3. NEW CURB CUT FOR ADA PARKING. (TYP) DET. 5 DWG A1.2
4. NEW LANDSCAPE AREA TO BE CLEANED & FREE OF WEEDS. PRUNE & FERTILIZE ALL EXISTING PLANTINGS. INSTALL NEW 2" MIN. LAYER BARK MULCH ALL PLANTING AREAS. THATCH AND FERTILIZE ALL GRASS AREAS. (TYP) SEE L1.1 FOR LANDSCAPING.
5. ACCESSIBLE PARKING SIGN PER DET. 2 DWG A1.2
6. WHEEL STOP. DET. 4 DWG A1.2
7. PAINTED HANDICAP PARKING STRIPING. 1'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
8. CONCERTE SIDE WALK. DET 3 DWG A1.2
9. NEW CURB DET 7 DWG A1.2
10. NEW ASPHALT PAVING. DET 6 DWG A1.2
11. FIRE LANE
12. EXISTING BUILDING TO REMAIN
13. PARTIAL REMOVAL OF EXISTING FENCE. SEE L1.1 FOR FURTHER DETAIL
14. NEW FENCE. DET 9 DWG A1.2 SEE L1.1 FOR FURTHER DETAIL
15. NEW FENCE AND GATE. DET 9 DWG A1.2. SEE L1.1 FOR FURTHER DETAIL
16. EXISTING TRASH AREA
17. PARKING LOT LIGHT SEE DWG L1.1 FOR DETAILS
18. PEDESTRIAN STRIPING. 1'-0" x 5'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
19. CURB CUT PER DETAIL 14 DWG A1.2
20. CONCRETE SIDEWALK PER CIVIL DRAWINGS. DET. 8 DWG A1.2
21. CURB CUT PER DET. 13 DWG A1.2
22. PEDESTRIAN LIGHT SEE DWG L1.1 FOR DETAILS
23. 3' HIGH MIN LANDSCAPING MOUND

PLUMBING FIXTURE ANALYSIS

WATERCLOSETS

OCCUPANCY	OCC. LOAD	WOMEN	MEN
B	71	36/25 = 1.44	36/25 = 1.44
TOTALS	71	1 REQUIRED	1 REQUIRED
TOTAL PROVIDED		3	3

LAVATORIES

B	71	36/40 = 0.90	36/40 = 0.90
TOTALS	71	1 REQUIRED	1 REQUIRED
TOTAL PROVIDED		3	3

OCCUPANCY

OFFICE AREAS
(MAIN FLOOR): (1,627/100) + (527/15) = 51 (UPPER FLOOR): 2,017/100 = 20
TOTAL OCCUPANTS: 71

EGRESS:
STAIR WIDTH: 71 x .3 = 21" (MIN 32" REQUIRED)
EGRESS WIDTH (MAIN FLOOR 51 + UPPER FLOOR 20) .2 = 14" (Min 32" REQUIRED)
MAIN FLOOR: 144" EXIT WIDTH PROVIDED
UPPER FLOOR: 36" EXIT WIDTH PROVIDED

PER TABLE 1017.2:
EXIST TRAVEL DISTANCE:
B NOT SPRINKLERED 200'

PROJECT CRITERIA

SCOPE OF WORK

NEW TWO STORY OFFICE BUILDING.
TAX ACCOUNT NO. 31051500200800, 31051500200700 SECTION 15 TOWNSHIP 31 RANGE 05
LEGAL DESCRIPTION SECTION 15 TOWNSHIP 31 RANGE 05 QUARTER NW PAR B PER CITY ARL BLA PROJ FILE NO PLN-468 REC AFN 201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC
Section 15 Township 31 Range 5 Quarter NW PAR A PER CITY ARL BLA PROJ FILE NO PLN-468 REC AFN 201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

CODES

2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 UNIFORM PLUMBING CODE (UPC)

BUILDING CRITERIA

ZONING: G1
PERMISSIBLE USES: 4.120 (TABLE: 20.72-1)
MAX. HEIGHT: 50 FT
OCCUPANCY: B
CONSTRUCTION TYPE: VB
FIRE SPRINKLER: NO
FIRE ALARM: NO
PROPERTY SIZE: 4.88 + 8.98
TOTAL: 13.86 ACERS

PARKING CALCULATIONS

REQUIRED PARKING:
PERMISSIBLE USE:
TABLE 20.40-1 Use: 4.120
TABLE: 20.72.1
1 SPACE PER 400 SQUARE FEET OF G.F.A.
OFFICE:
MAIN FLOOR: 4,451 G.F.A.
UPPER FLOOR: 2,970 G.F.A.
TOTAL: 7,421 G.F.A.
1 PER 400 SF GROSS FLOOR AREA
(7,421 G.F.A.) / 400 = 19 STALLS

TOTAL REQUIRED: 19 STALLS
PARKING PROVIDED: 42 STALLS

PARKING LOT LANDSCAPE CALCULATIONS

TOTAL PARKING LOT AREA: 17,715 S.F.
LANDSCAPING REQ'D. (10% OF PARKING AREA): 1,772 S.F.
LANDSCAPING PROVIDED: 10,365 S.F.

PER TABLE 1106.1.
1 ACCESSIBLE PARKING SPACES ARE REQUIRED

DRAWING INDEX

CIVIL
C1.0 DEMO & SWPPP PLAN
C2.0 SEWER & WATER PLAN
C3.0 STORM DRAINAGE PLAN
C3.1 DRAINAGE PROFILES & DETAILS
C4.0 PAVING PLAN
C4.1 STANDARD NOTES
C4.2 CITY DETAILS

ARCHITECTURE
A1.1 SITE PLAN
A1.2 SITE DETAILS
L1.1 LANDSCAPE PLAN
A2.1 FLOOR PLANS
A2.2 REFLECTED CEILING PLANS
A3.1 ELEVATIONS
A4.1 BUILDING SECTIONS
A5.1 DOOR, WINDOW AND FINISH SCHEDULES
A5.2 INTERIOR ELEVATIONS, CABINETS AND FIXTURE HEIGHTS
A5.3 DETAILS

STRUCTURAL
S1.0 - GENERAL STRUCTURAL NOTES
S1.1 - GENERAL STRUCTURAL NOTES
S1.2 - GENERAL STRUCTURAL NOTES
S2.0 - FOUNDATION PLAN
S2.1 - UPPER FLOOR FRAMING PLAN
S2.2 - ROOF FRAMING PLAN
S3.0 - FOUNDATION DETAILS
S4.0 - WOOD DETAILS
S4.1 - WOOD DETAILS
S4.2 - WOOD DETAILS
S4.3 - WOOD DETAILS
S5.0 - STEEL DETAILS
S6.0 - WOOD/STEEL DETAILS

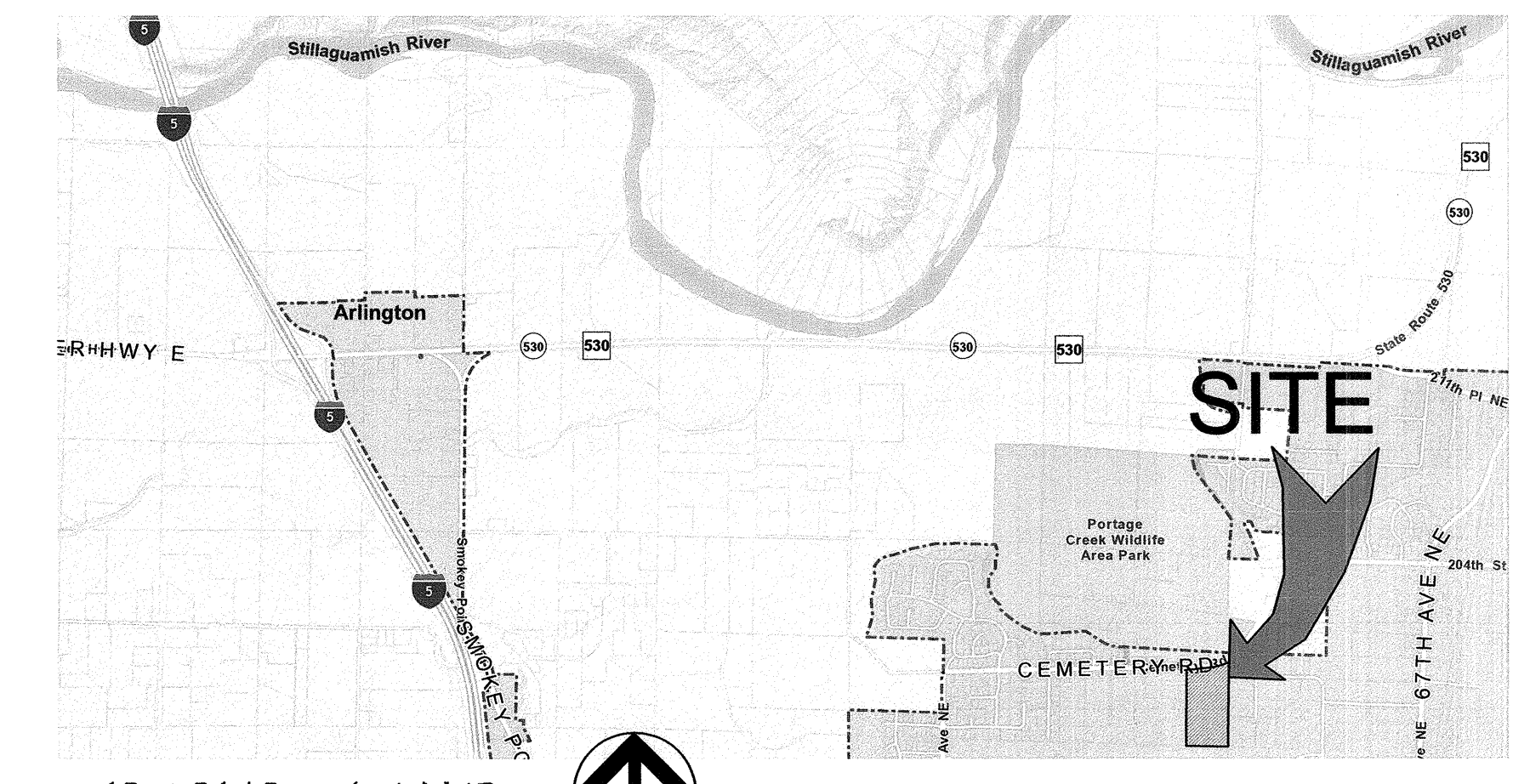
UTILITY DISTRICTS

POWER: FUD
WATER: ARLINGTON WATER DEPARTMENT
SEWER: CITY OF ARLINGTON
TELEPHONE: -

SEPARATE SUBMITTALS

ELECTRICAL
MECHANICAL
PLUMBING
SIGNS

*NOTE: THE ARCHITECT OF RECORD SHOULD STAMP SUBMITTALS AS REVIEWED AND TO FORWARD THE SUBMITTALS TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO THE PERFORMANCE OF WORK.



VICINITY MAP



CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT

CITY OF ARLINGTON
THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATION WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSDFW HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ARMY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE (NOI), ENDANGERED SPECIES ACT.

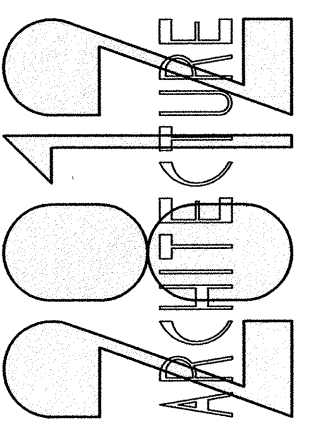
BY: Nova Heaton, PE, Development Services Manager DATE: _____

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 18 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAN OR SITE PLAN APPROVAL.

Date:	For:
24 JANUARY 21	FOR PERMIT
28 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
18 AUGUST 21	DESIGN REVIEW REVISION
03 SEPTEMBER 21	DESIGN REVIEW REVISION



2812 Colby Avenue
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www.2812architecture.com



A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington
CITY OF ARLINGTON
CONTRACT: SITE PLAN (OFFICE BUILDING)

Drawing: **A1.1**

Job Number: **PLN-866 20c-4254**

SITE PLAN NOTES

1. ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 1 DWG A1.2
2. PAINTED PARKING STRIPING. 4" WIDE LINES. LENGTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
3. NEW CURB CUT FOR ADA PARKING. (TYP) DET. 5 DWG A1.2.
4. NEW LANDSCAPE AREA TO BE CLEANED & FREE OF WEEDS. PRUNE & FERTILIZE ALL EXISTING PLANTINGS. INSTALL NEW 2" MIN. LAYER BARK MULCH ALL PLANTING AREAS. THATCH AND FERTILIZE ALL GRASS AREAS. (TYP) SEE L1.1 FOR LANDSCAPING.
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6. WHEEL STOP. DET. 4 DWG A1.2
7. PAINTED HANDICAP PARKING STRIPING. 1'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
8. CONCERNED SIDE WALK. DET 3 DWG A1.2

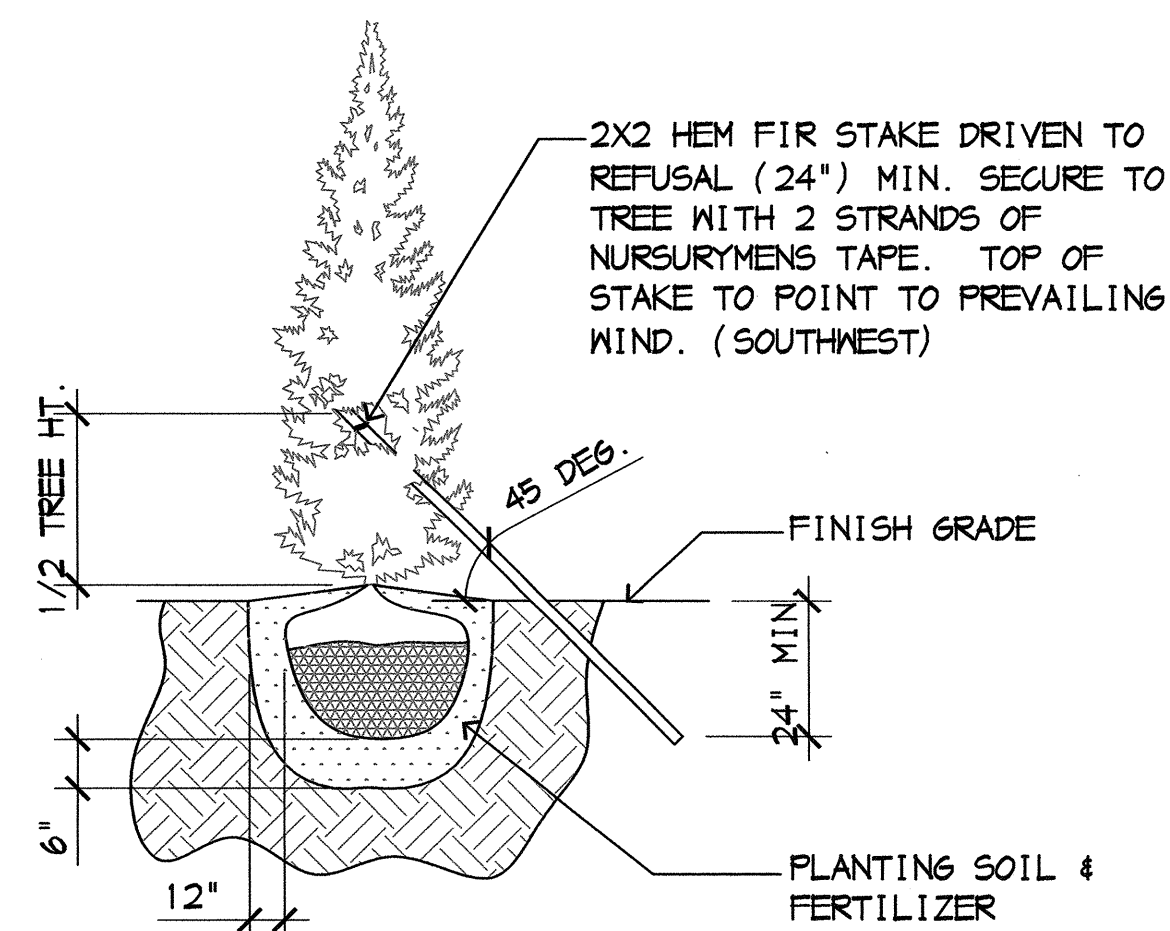
9. NEW CURB DET 7 DWG A1.2
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11. FIRE LANE
12. EXISTING BUILDING TO REMAIN
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22. PEDESTRIAN LIGHT SEE DWG L1.1 FOR DETAILS
23. 3' HIGH MIN LANDSCAPING MOUND
24. BIKE RACK. 7-Bike Saddleback Bike Rack - 62"L - 2-3/8"OD Galvanized Pipe - Surface Base Plate Mount. Provided by Bicycle Rack Source (800) 281-1442

PER 20.76.130 SHADE TREES IN PARKING AREA. (X)

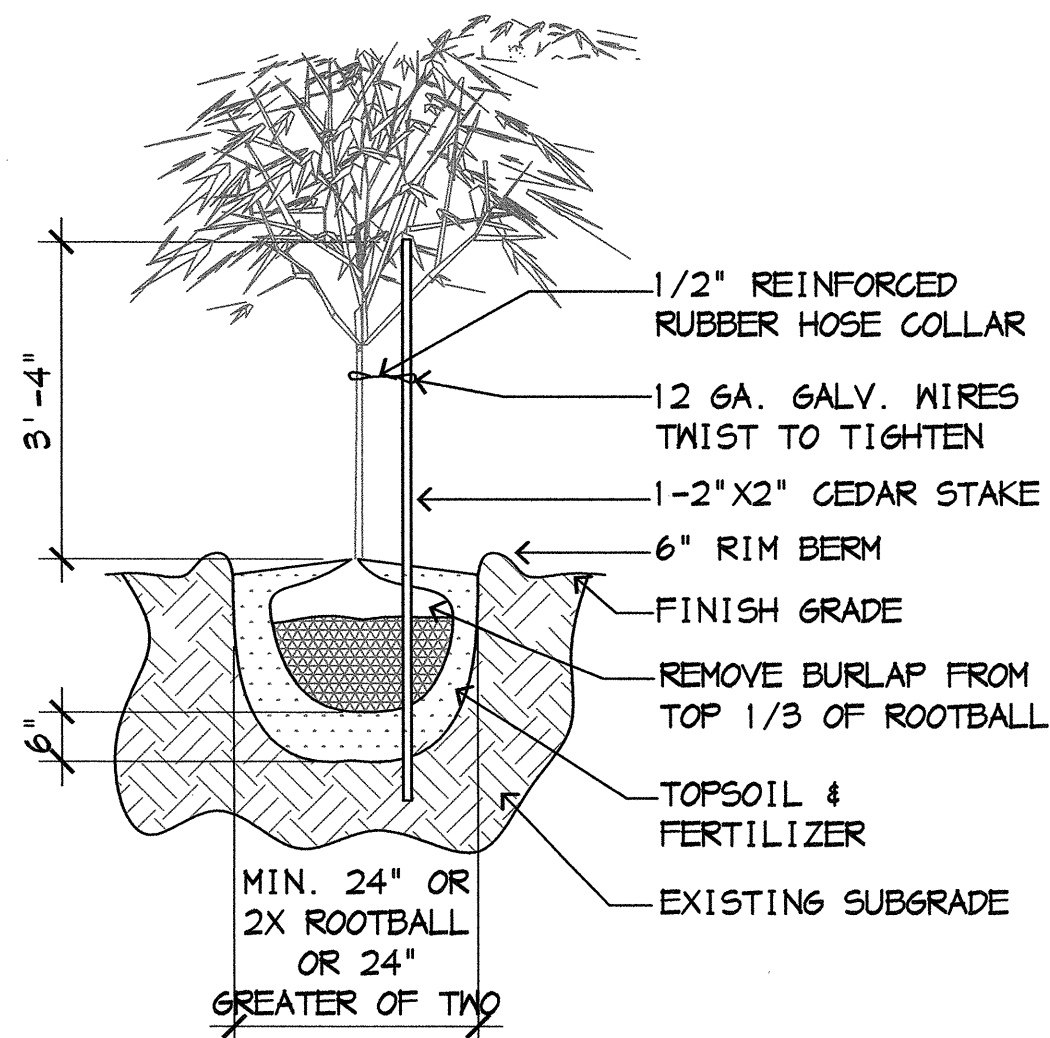
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- ③ 1,881 S.F. * .20 = 376 S.F. OF SHADE 403 S.F PROVIDED.
- ④ 2,038 S.F. * .20 = 407 S.F. OF SHADE 468 S.F PROVIDED.
- ⑤ 328 S.F. * .20 = 67 S.F. OF SHADE 80 S.F PROVIDED.
- ⑥ 171 S.F. * .20 = 34 S.F. OF SHADE 57 S.F. PROVIDED.

NOTE: SEE TREE DETAIL ROOT BARRIER FOR THE TREES PLANTED NEXT TO THE ROW OF CEMETERY ROAD.

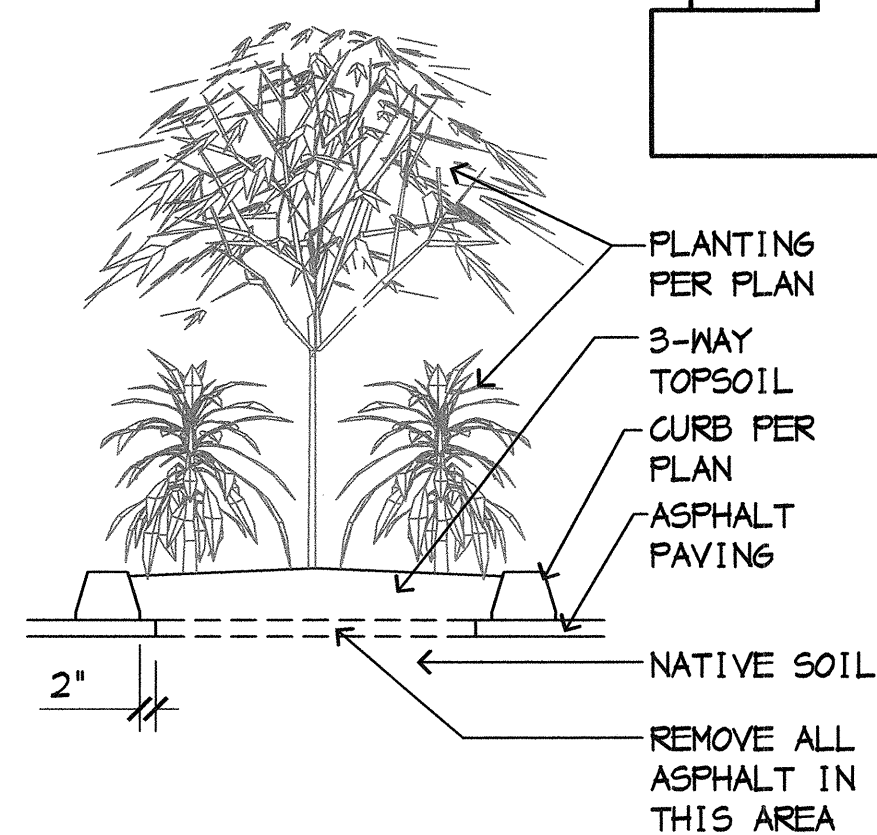
PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
	40	TILIA CORDATA	LITTLE LEAF LINDEN	2" GAL.	MIN 6' TALL AT PLANTING
	24	RHODODENDRON SCHLIPFENBACHII	ROYAL AZALIA	2 GAL.	24" TALL
	56	FRUNUS LAUROCERASUS	OTTO LUYKEN	2 GAL.	24" TALL
	85	RHODODENDRON CALIFORNICUM	NATIVE RHODODENDRON	2 GAL.	24" TALL MIXED VARIETY
	AS REQ'D	ARCTOSTAPHYLOS UVA-URSII	KINNICKINNIK	4" POTS	24" O.C.
	AS REQ'D	GRASS	LAWN		



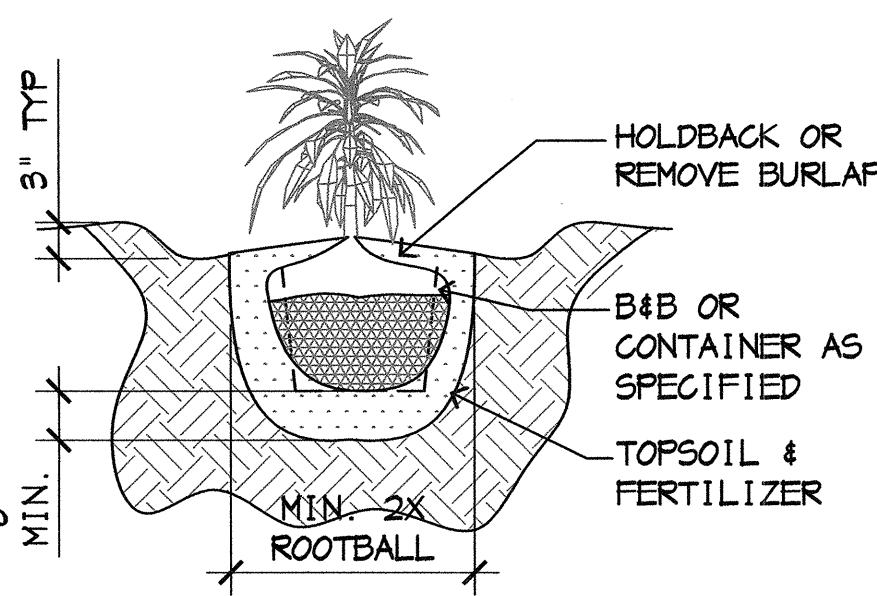
EVERGREEN TREE PLANTING
NO SCALE



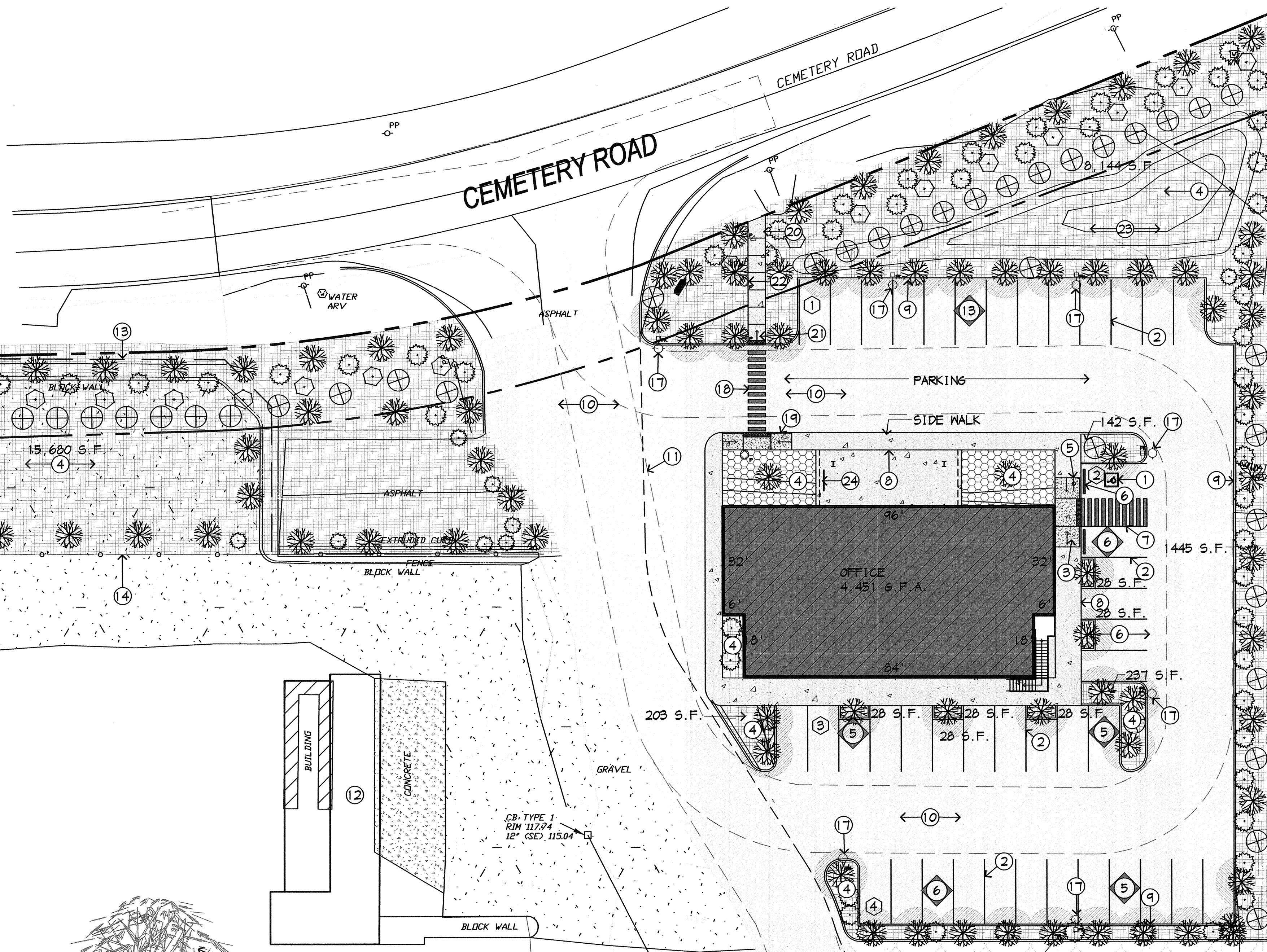
DECIDUOUS TREE PLANTING
NO SCALE



PLANTER DETAIL
NO SCALE



SHRUB PLANTING
NO SCALE



LANDSCAPE PLAN

1" = 25'-0"



2018 WSEC LIGHTING ALLOWANCES

Table C405.5.3.(2)

PARKING LOT	TOTAL PARKING AREA = 15,760 FT AREA X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 13,778 FT X 0.06 M/FT ² = 827 TOTAL ALLOWED MATTS 7 P-Lot LIGHTS @ 100M EA + TOTAL MATTAGE = 500 MATTS
BUILDING WALKWAYS < 10' WIDE	TOTAL 5' WIDE WALK LIN. FT = 175 S.F. WALKWAY LIN. FT WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 175 S.F. X .5 M/LIN. FT = 87 MATTS ALLOWED AT 5' WALK MAYS. TOTAL AT WALK MAYS 80 MATTS (20W LED) 4 WALK MAY LIGHTS = 80 MATTS

LIGHT LEGEND

	PARKING LOT LIGHTING (100W) LED SHOE BOX FIXTURE 25' POLE W/18" DIA 24" HIGH CONC. BASE DET 10 & 11 DWG A1.2
	WALKWAY PEDESTRIAN LIGHTING @ 75 M EACH (20W LED) MATT EQUIVALENT 10' POLE. DET 15 DWG A1.2

LANDSCAPE NOTES

1. Backfill mix for planting trees, shrubs and ground cover shall be: One part by volume of 3-way topsoil mixed with one part native soil.
2. Planter areas to receive 3-way topsoil.
3. All trees, shrubs and groundcover shall be fertilized with Agro 4-2-2 transplanter or equal at planting time.
4. After planting of all plants, mulch all areas with a minimum of 2" of medium fine bark mulch.
5. Owner to approve planting prior to installation.
6. Plant types may be substituted due to availability with similar species and varieties.
7. Landscaping contractor responsible for maintenance during construction period.
8. All plants to be healthy at the time of planting and guaranteed for one full year or until the next spring (whichever is greater).
9. Remove existing weeds and grasses prior to planting landscape areas.
10. See drawing L1.1 for planting and landscaping details.
11. A sprinkler system is required for this project. Design and installation of the system will be the responsibility of the bidding contractor. General contractor to submit shop drawings to the architect prior to installation of the system.

CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW APPROVAL

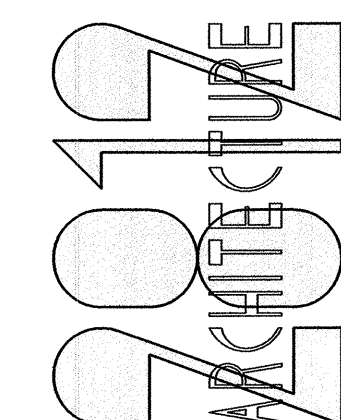
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: Nova Heaton, PE, Development Services Manager

DATE: _____ THIS APPROVAL IS VALID FOR 18 MONTHS

Date:	For:
24 JANUARY 21	FOR PERMIT
28 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
18 AUGUST 21	DESIGN REVIEW REVISION
08 SEPTEMBER 21	DESIGN REVIEW REVISION

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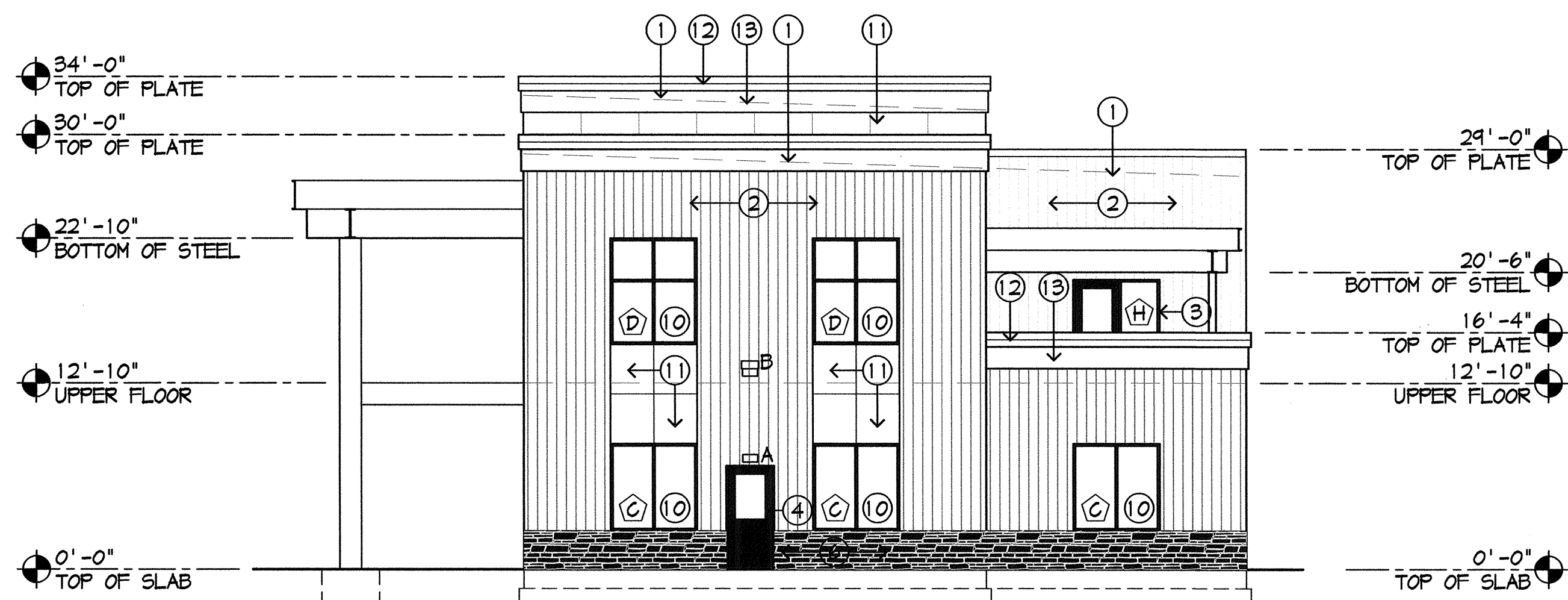


A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington

Drawing:
L1.1

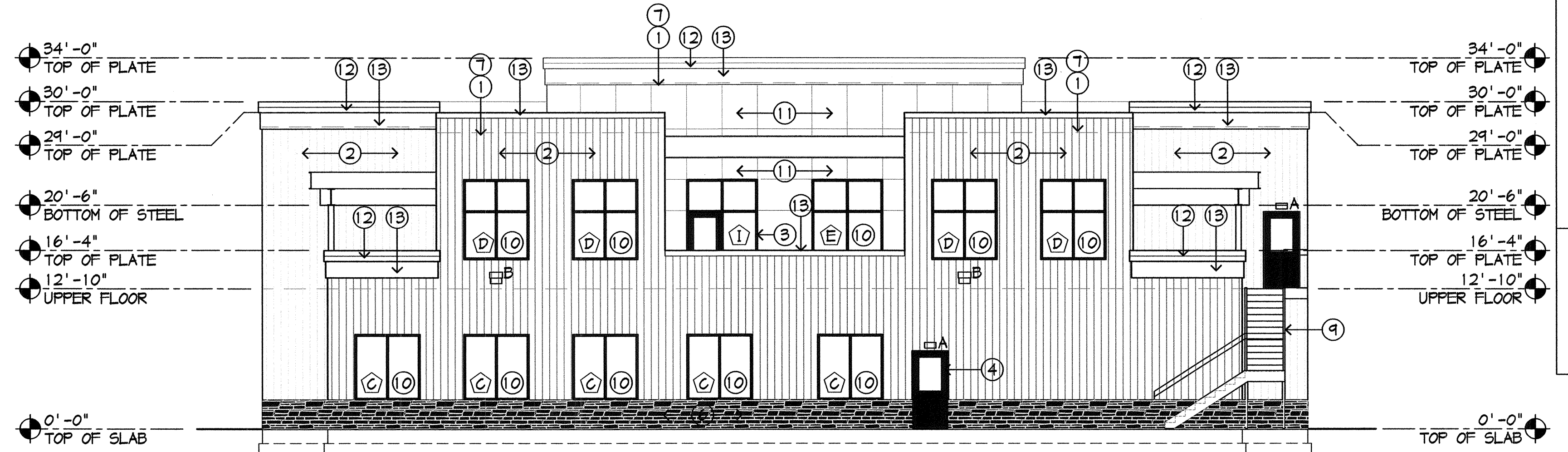
Job Number:
20c-4254

PLN-866



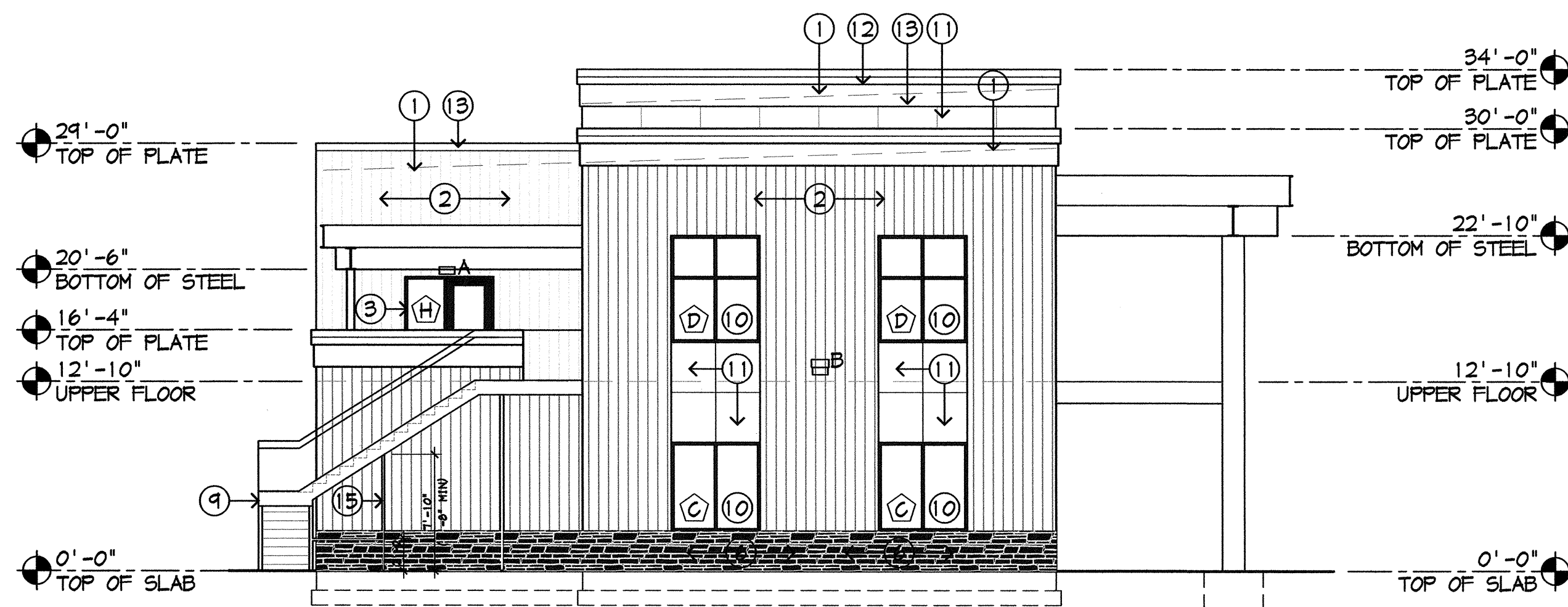
WEST ELEVATION

1/8" = 1'-0"



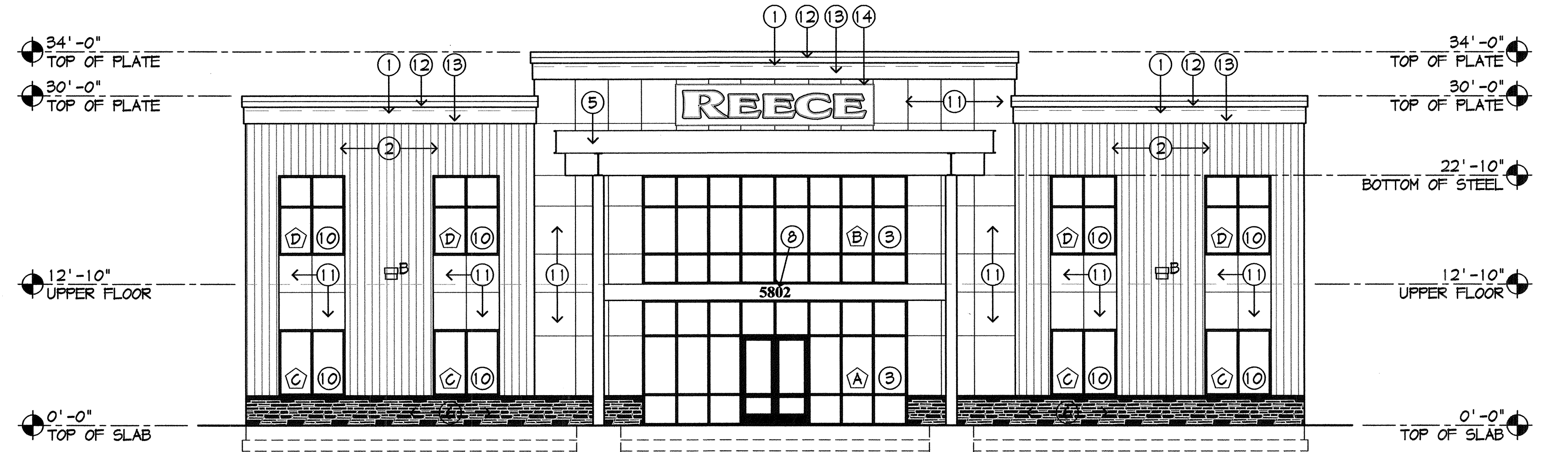
SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

ELEVATION NOTES

1. TPO ROOF ON FRAMING : OVER R-30 RIGID INSULATION.
2. METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL TO MATCH METAL SHOP BUILDING.
3. EXTERIOR WINDOWS: STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1. (U-VALUE < 0.38 AND SHGC < 0.40).
4. HOLLOW METAL STEEL DOORS AND FRAMES: 16 GA INSULATED METAL DOORS (DUAL GLAZED SAFETY GLASS WITH U-VALUE < .60 AND SHGC < 0.40).
5. MEMBRANE ROOF ON FRAMING @ ENTRANCE W/ "H" STEEL POSTS: - REFER TO ARCHITECTURAL DETAIL AND STRUCTURAL DRAWINGS FOR CONNECTIONS.
6. STONE VENEER BASE: PREFABRICATED STONE VENEER OVER MOISTURE BARRIER ON 1/2" EXTERIOR SHEATHING ON 2X6 @ 16" O.C..
7. PREFINISHED ROOF DRAINS AND DOWNSPOUTS: ROOFDRAINS AND PVC DOWN PIPES. TIGHTLINE TO STORM DRAINAGE SYSTEM PER CIVIL DRAWINGS. SEE ROOF PLAN ON DRAWING A2.5
8. ADDRESS LETTERING: PLACE 14" HIGH ADDRESS WITH RAISED METAL NUMBERS AND LETTERS ABOVE DOOR. NUMBERS SHALL CONTRAST WITH THE BACKGROUND SIDING.
9. STEEL STAIRS W/ CONCRETE TREADS: PREFABRICATED STEEL STAIRS PER MANUFACTURER. REFER TO STAIR SECTIONS SHEET A4.2.
10. VINYL WINDOWS: INSULATED VINYL WINDOWS (U-VALUE < 0.38 AND SHGC < 0.40)
11. FLAT METAL SIDING: 26 GAUGE PREFINISHED FLAT METAL PANELS.
- 12 & 13. METAL TRIM: PER MANUFACTURER
14. BUILDING SIGN: 18'-0" X 3'-9" REECE SIGN PER SEPARATE PERMIT.
15. REDUCED VERTICAL CLEARANCE: PROVIDE 2" T.S. RAILS BELOW STAIR TO CREATE BARRIER PER ICCI 307.4.

2018 WSEC LIGHTING ALLOWANCES	
Table C405.5.3.(2)	
BUILDING FACADES	TOTAL FACADE WALL AREA = 8520 S.F. FACADE WALL AREA X WSEC ALLOWED WATTS/S.F. = TOTAL ALLOWED WATTS. 8520 X .075 W/SF ² = 639 TOTAL ALLOWED WATTS ON BUILDING FACADES. TOTAL WATTAGE= 492 WATTS
LIGHT LEGEND	
A	WALL MOUNTED @ 75W EACH (20W) LED WATT EQUIVALENT (4) X 75W = 300 W
B	WALL PAC @ 100W EACH (32 W) LED WATT EQUIVALENT 6X32= 192 W

ELEVATION LEGEND

- ⊖ ELEVATION NOTES
- ⊕ WINDOW PER SCHEDULE ON DWG. A5.1

EXTERIOR COLORS

- C1 PAINT
- C2 PAINT
- C3 PAINT
- C4 PAINT
- C5 MANUFACTURERS STANDARD COLOR

CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: Nova Heaton, PE, Development Services Manager

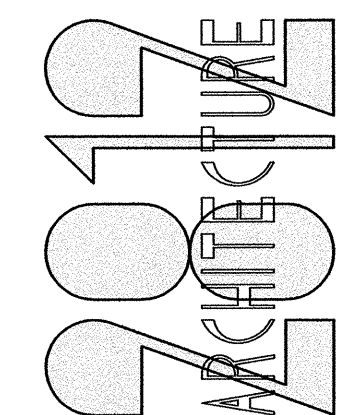
DATE: THIS APPROVAL IS VALID FOR 18 MONTHS

PLN-866 20c-4254

FOR PERMIT	24 JANUARY 21
REVISION 1	28 MAY 21
DESIGN REVIEW	15 JULY 21
DESIGN REVIEW REVISION	18 AUGUST 21



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A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington

Drawing: **A3.1**
Job Number: 20c-4254

ELEVATIONS OFFICE BUILDING



WEST ELEVATION

1/8" = 1'-0"



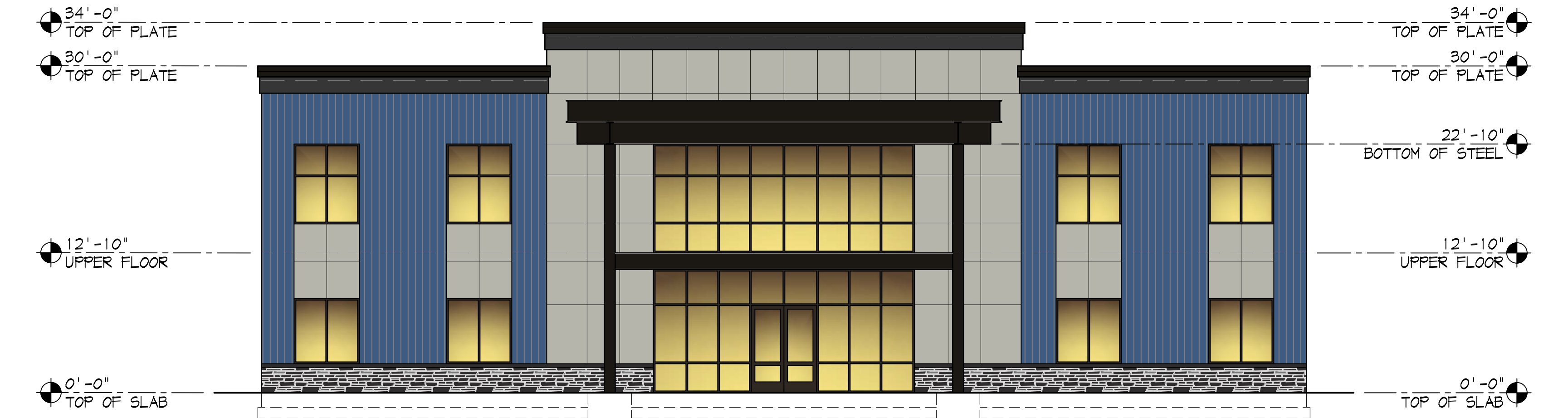
SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



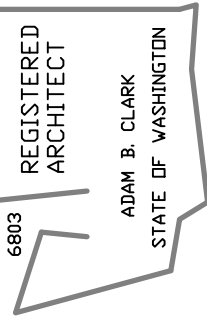
NORTH ELEVATION

1/8" = 1'-0"

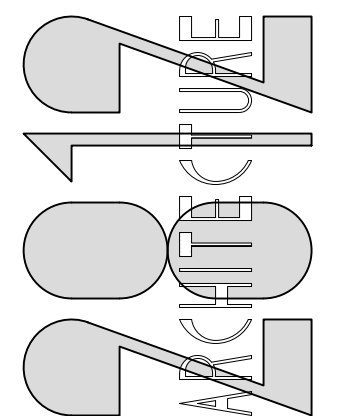
MATERIAL LIST

1. STONE VENEER BASE: PREMANUFACTURED STONE VENEER PER MANUFACTURER INSTALLATION SPECIFICATIONS.
2. METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL.
3. VINYL FLANGE WINDOW: INSULATED VINYL FLANGE WINDOW W/ 1" INSULATED GLASS.

Date:	29 JANUARY 21	FOR PERMIT
	28 MAY 21	REVISION 1
	15 JULY 21	DESIGN REVIEW



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A New Operations Building for:
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5802 Cemetery Road
Arlington, Washington

Drawing: **R1**

Job Number: 20c-4254

PLN-866

RENDERING

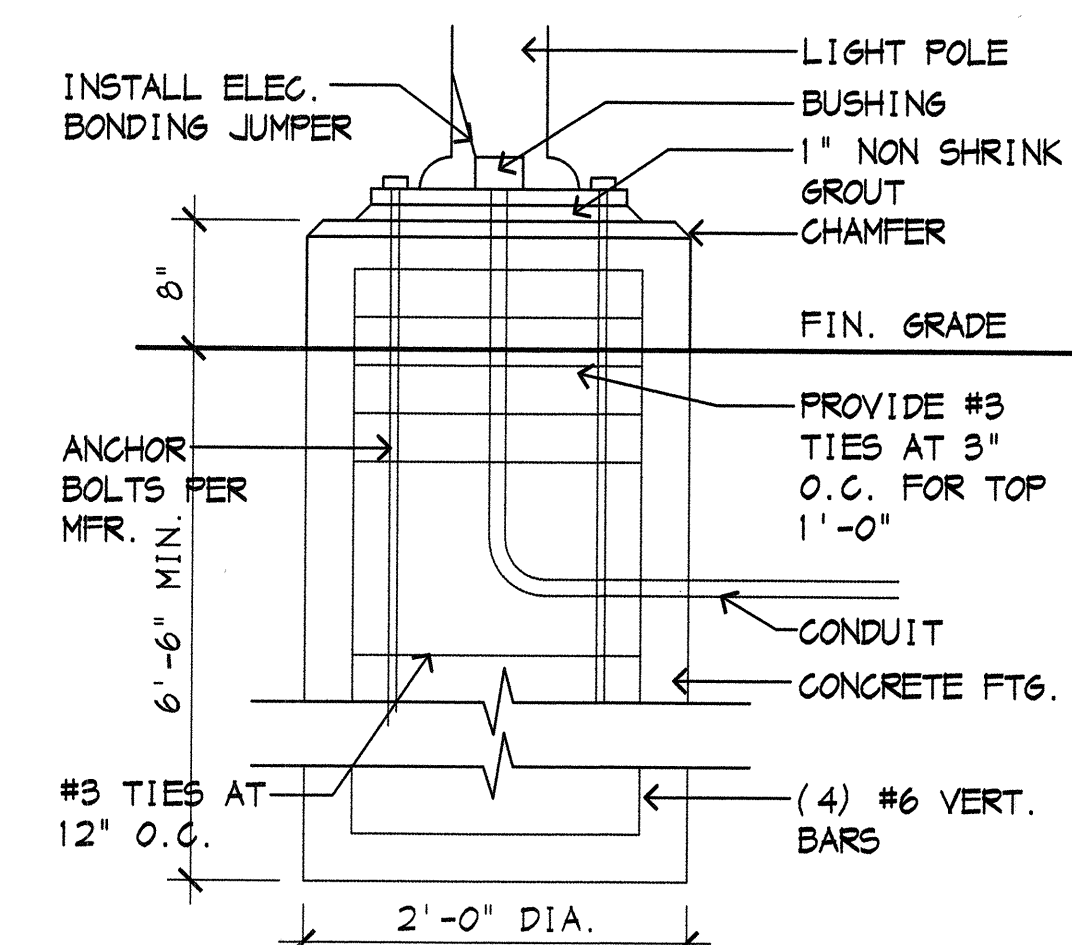
2018 WSEC LIGHTING ALLOWANCES

Table C405.5.3.(2)

PARKING LOT	TOTAL PARKING AREA = 13,760 FT AREA X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 1,181 FT X 0.06 W/FT = 71 TOTAL ALLOWED MATTS 2 P-LOT LIGHTS @ 100W EA + TOTAL MATTAGE = 200 MATTS
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LIGHT LEGEND

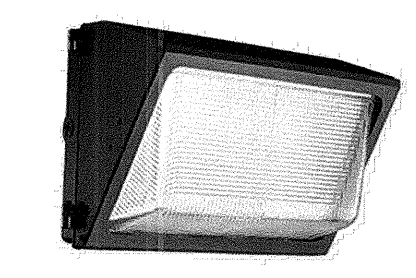
	PARKING LOT LIGHTING (100W) LED SHOE BOX FIXTURE 25' POLE W/18" DIA 24" HIGH CONC. BASE DET 1 & 2 DWG L1.1
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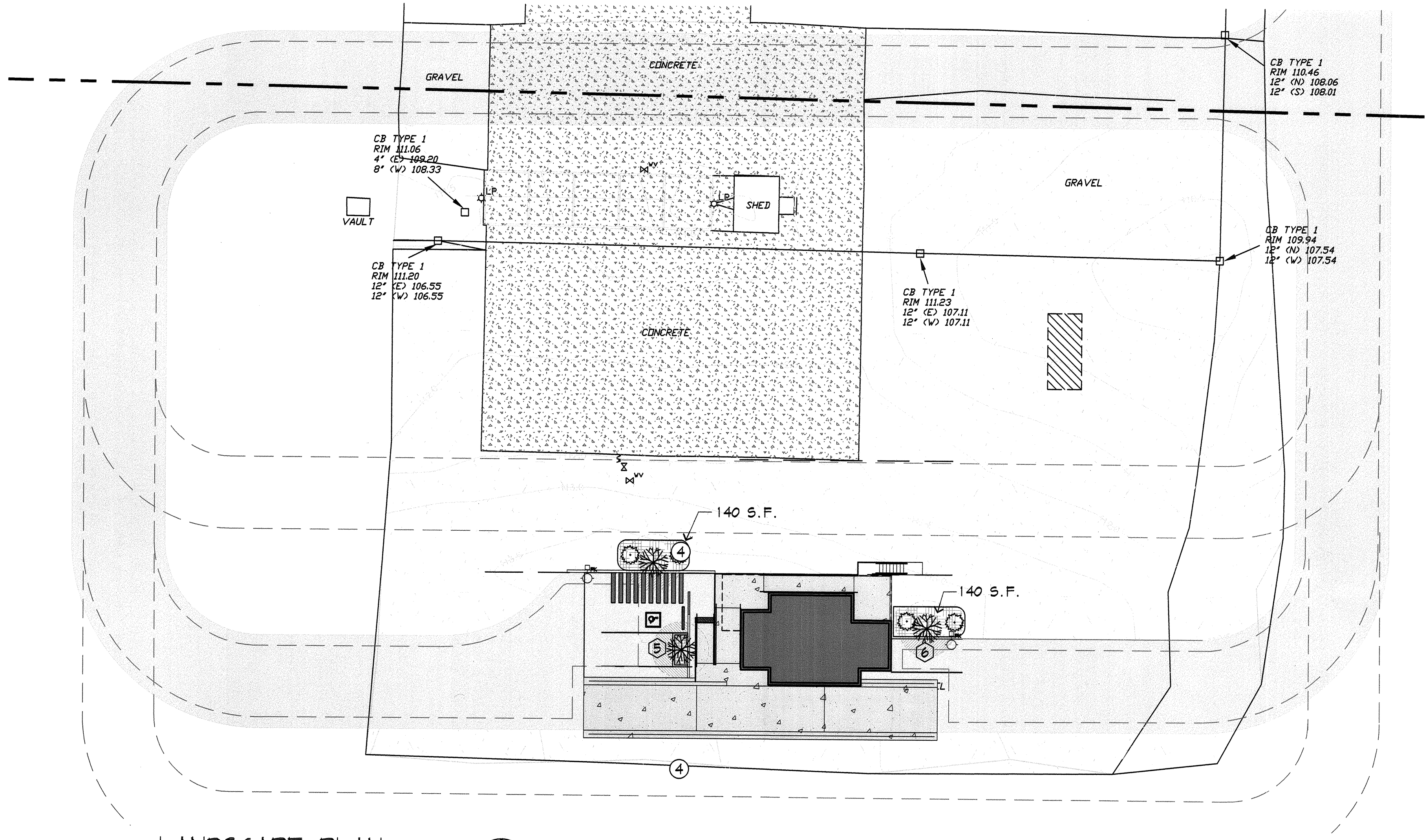
1 LIGHT POLE BASE
1" = 1'-0"



2 LIGHT POLE HEADS
1" = 1'-0"



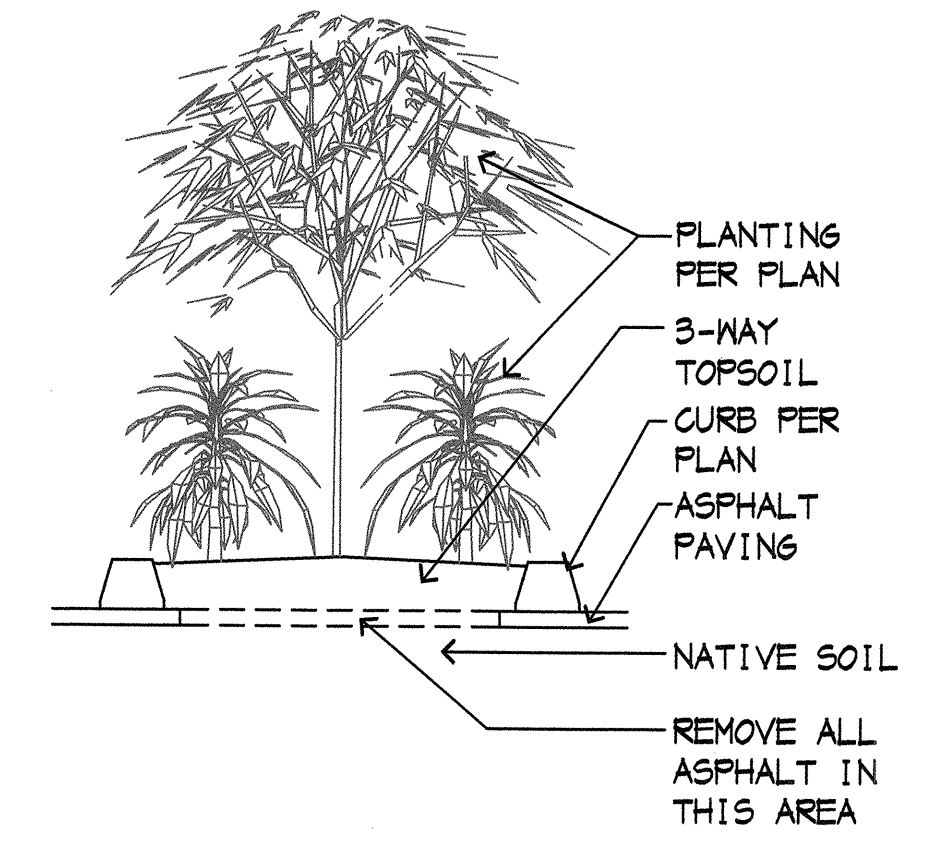
3 WALL PACK
1" = 1'-0"



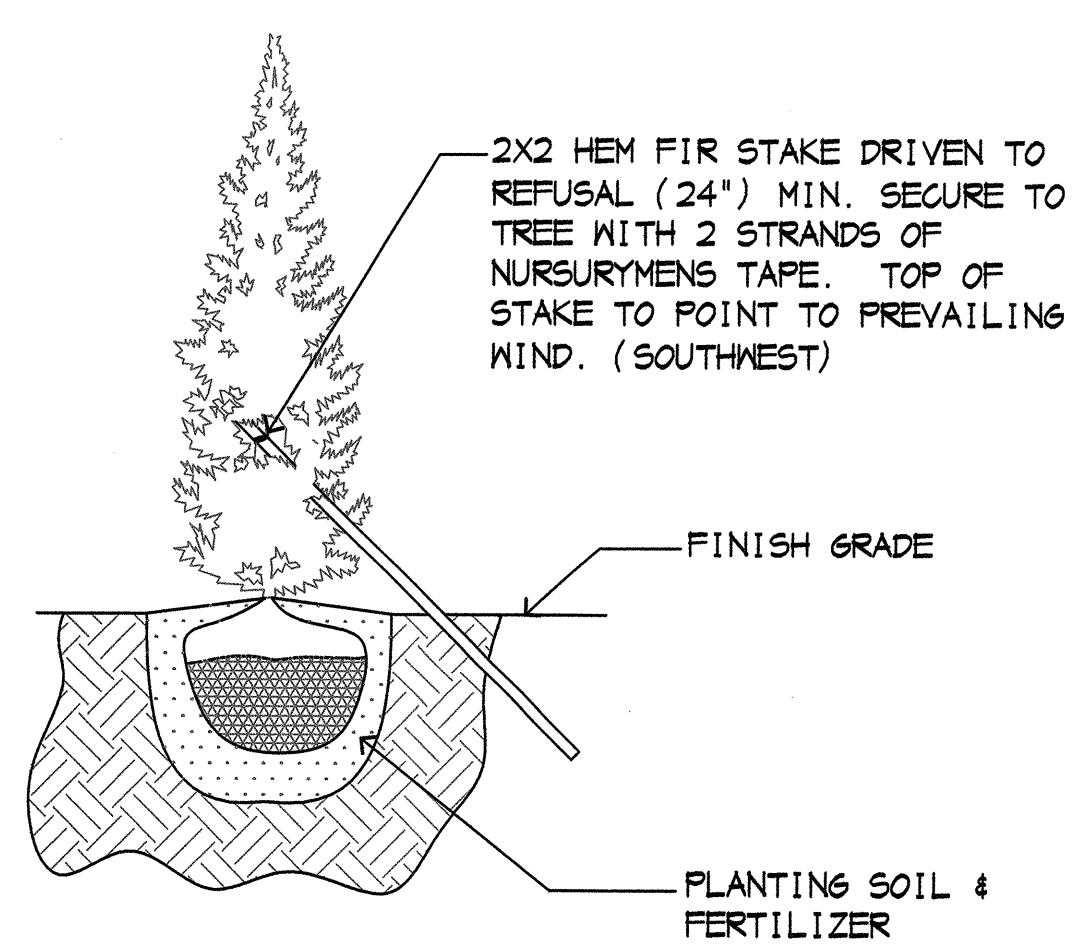
LANDSCAPE PLAN
1" = 25'-0"
NORTH

PLANTING SCHEDULE

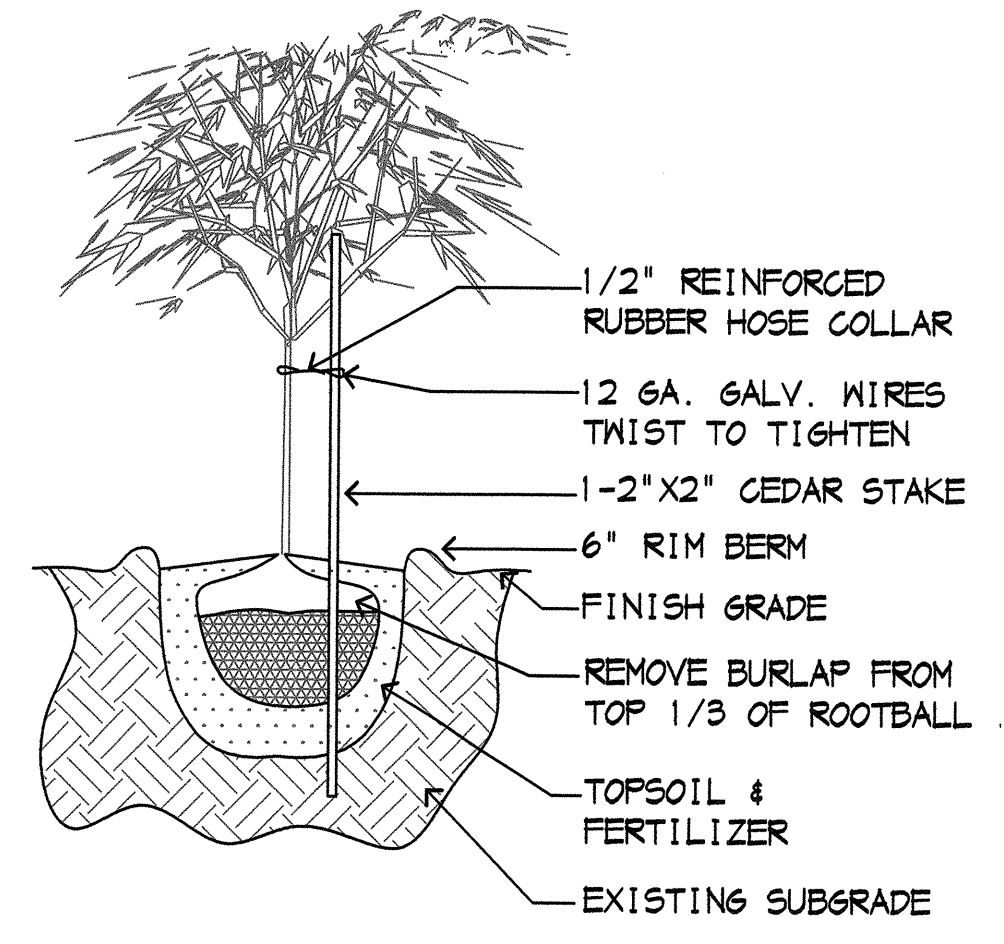
SYMBOL	QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
	3	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL.	MIN 6' TALL AT PLANTING
	3	RHODODENDRON CALIFORNICUM	NATIVE RHODODENDRON	2 GAL.	24" TALL MIXED VARIETY
	AS REQ'D	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNIK	4" POTS	24" O.C.



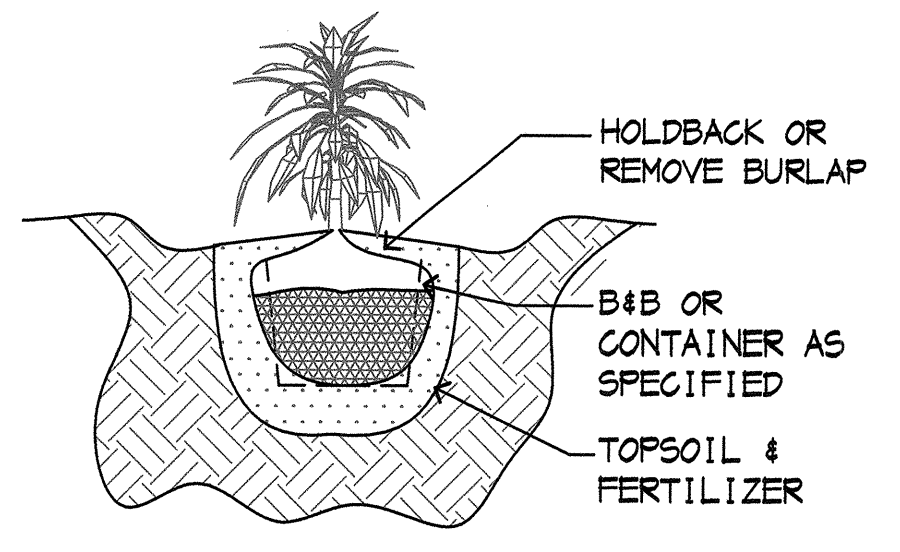
PLANTER DETAIL
NO SCALE



EVERGREEN TREE PLANTING
NO SCALE



DECIDUOUS TREE PLANTING
NO SCALE



SHRUB PLANTING
NO SCALE

- PER 20.76.130 SHADE TREES IN PARKING AREA. (X)
- 1 2,874 S.F. * .20 = 575 S.F. OF SHADE 675 S.F. PROVIDED.
 - 2 1,198 S.F. * .20 = 239 S.F. OF SHADE 276 S.F. PROVIDED.
 - 3 1,881 S.F. * .20 = 376 S.F. OF SHADE 403 S.F. PROVIDED.
 - 4 2,038 S.F. * .20 = 407 S.F. OF SHADE 468 S.F. PROVIDED.
 - 5 328 S.F. * .20 = 67 S.F. OF SHADE 80 S.F. PROVIDED.
 - 6 171 S.F. * .20 = 34 S.F. OF SHADE 57 S.F. PROVIDED.

LANDSCAPE NOTES

1. Backfill mix for planting trees, shrubs and ground cover shall be: One part by volume of 3-way topsoil mixed with one part native soil.
2. Planter areas to receive 3-way topsoil.
3. All trees, shrubs and groundcover shall be fertilized with Agro 4-2-2 transplanter or equal at planting time.
4. After planting of all plants, mulch all areas with a minimum of 2" of medium fine bark mulch.
5. Owner to approve planting prior to installation.
6. Plant types may be substituted due to availability with similar species and varieties.
7. Landscaping contractor responsible for maintenance during construction period.
8. All plants to be healthy at the time of planting and guaranteed for one full year or until the next spring (whichever is greater).
9. Remove existing weeds and grasses prior to planting landscape areas.
10. See drawing L1.1 for planting and landscaping details.

CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

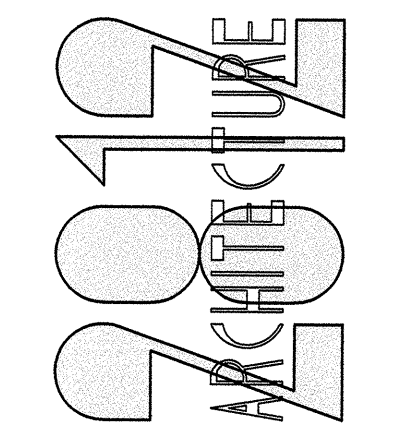
BY: Nova Heaton, PE, Development Services Manager

DATE: _____ THIS APPROVAL IS VALID FOR 18 MONTHS

Job Number: **PLN-866** **20c-4254**

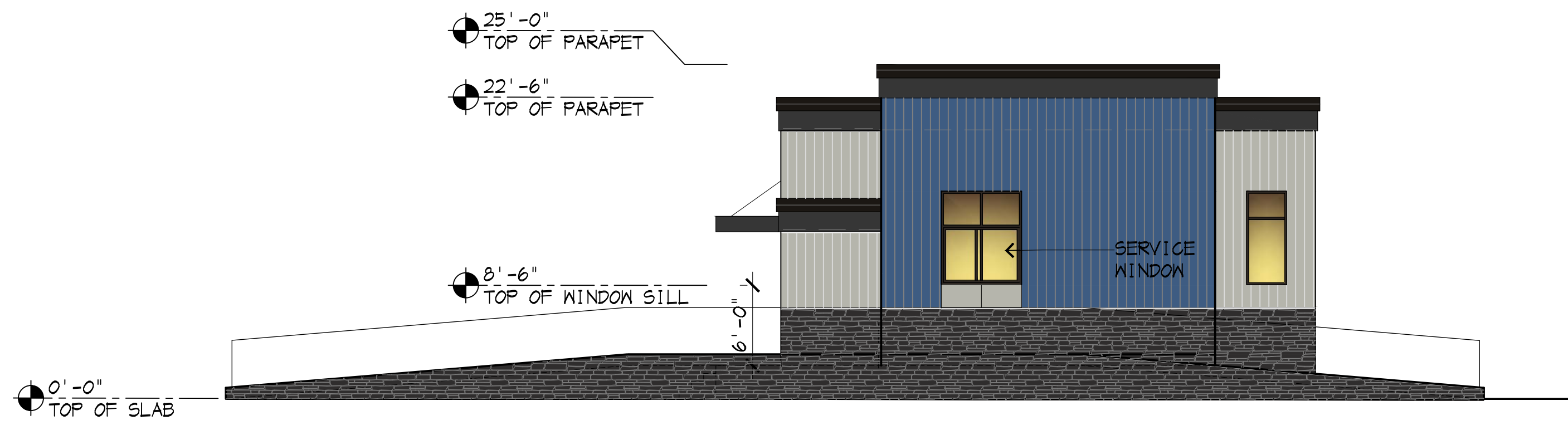
Date:	For:
24 JANUARY 21	FOR PERMIT
20 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
18 AUGUST 21	DESIGN REVIEW REVISION

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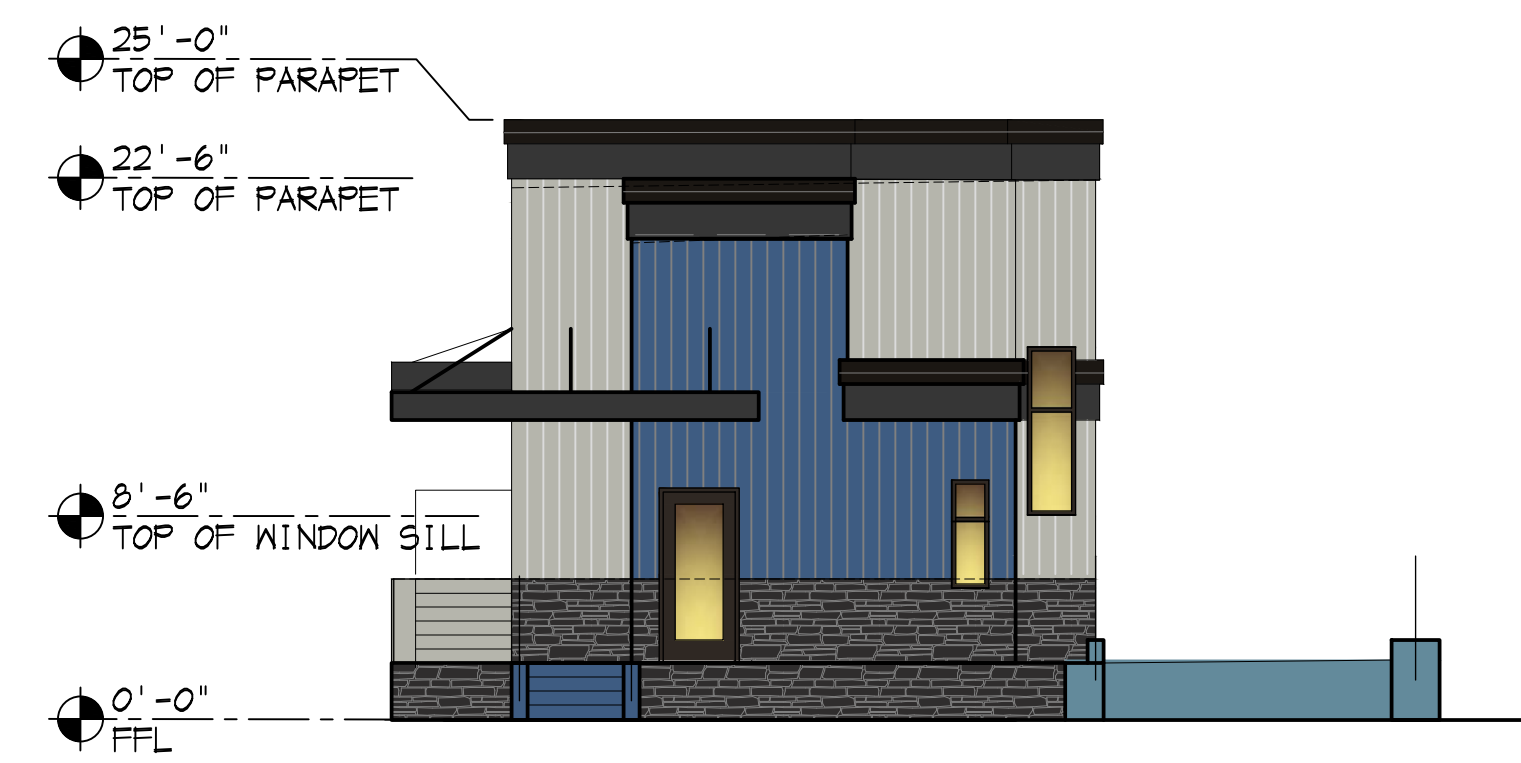
A New Operations Building for:
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5602 Cemetery Road
Arlington, Washington

LANDSCAPE DETAILS & LANDSCAPE PLAN (SCALE HOUSE)



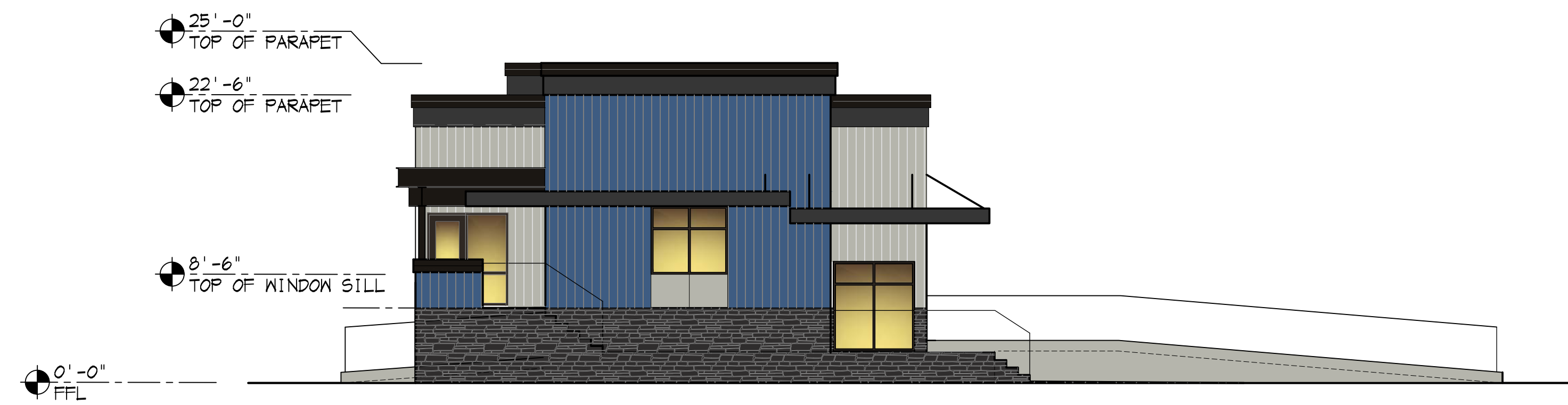
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



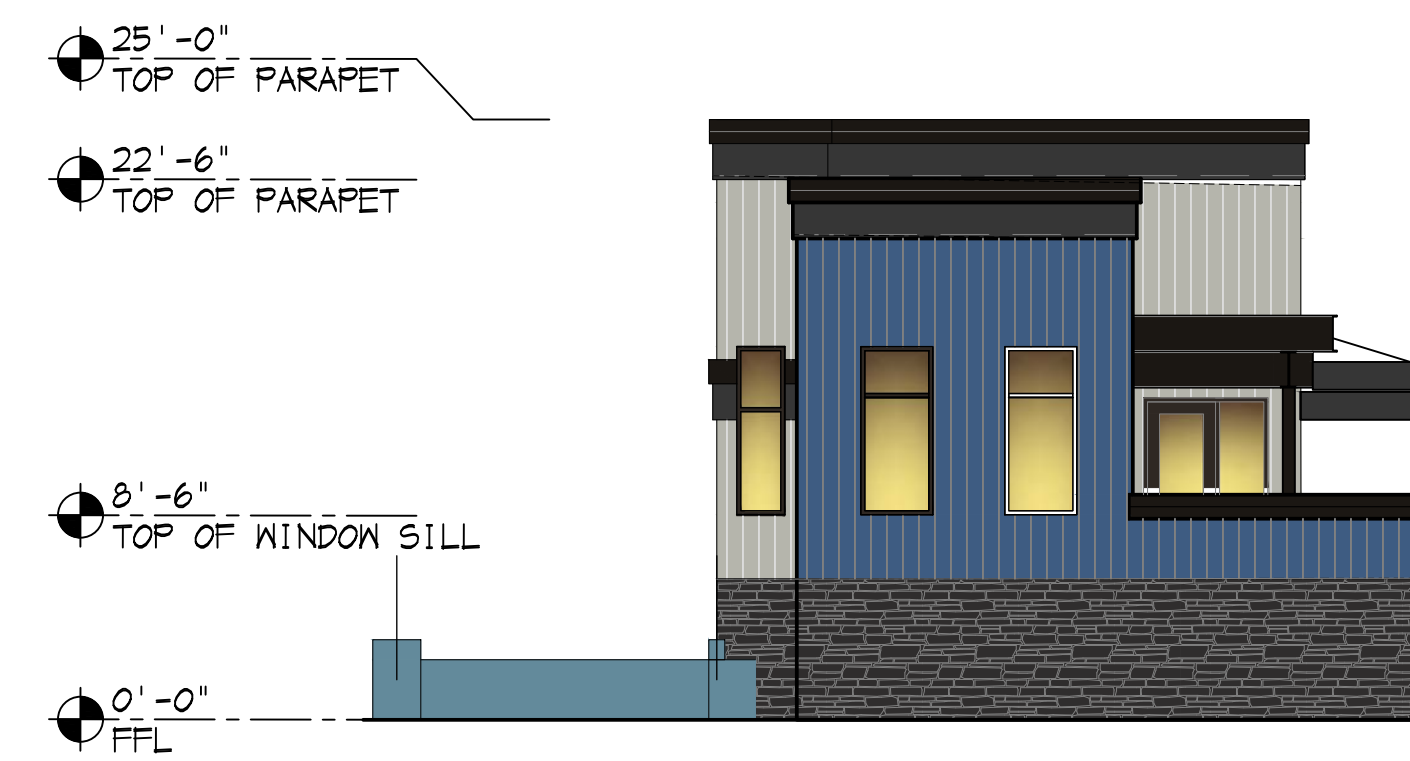
WEST ELEVATION

SCALE: 1/8" = 1'-0"



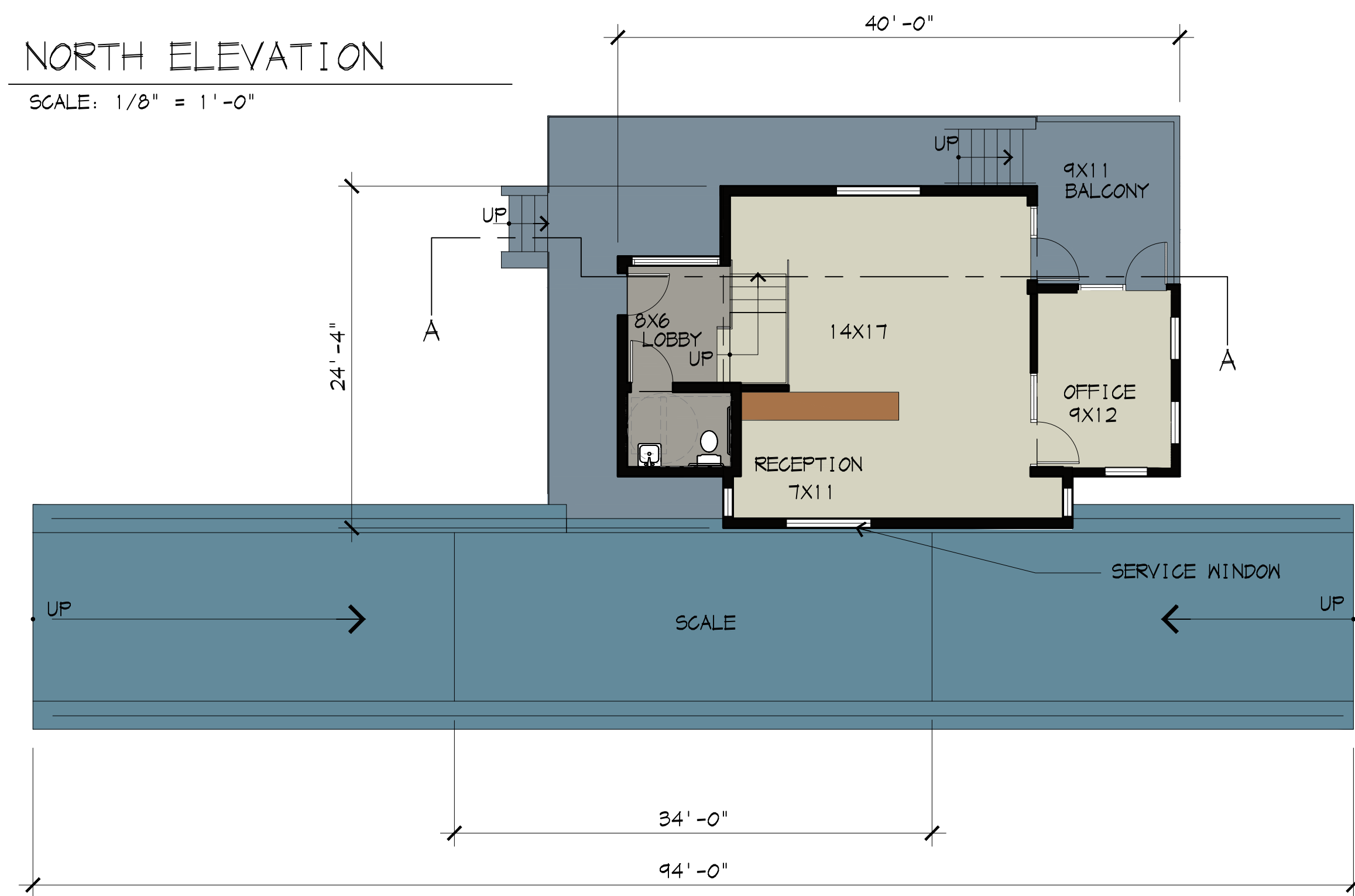
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



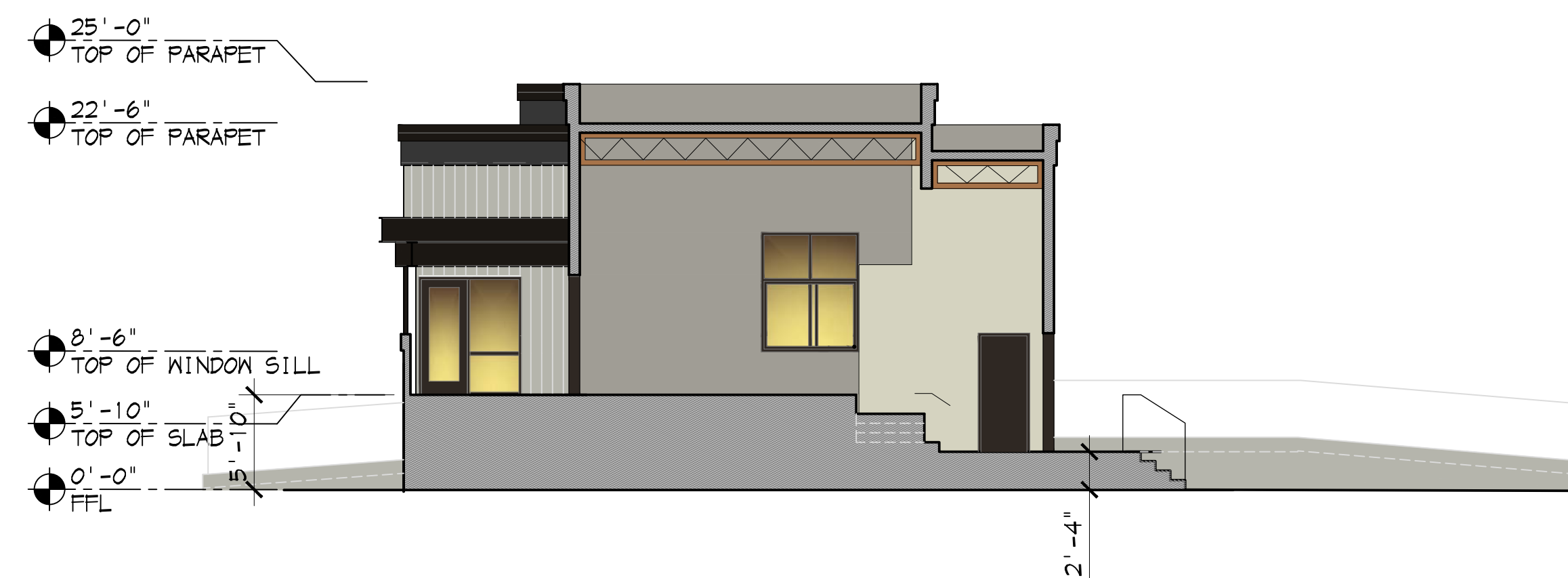
EAST ELEVATION

SCALE: 1/8" = 1'-0"



FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECTIONAL ELEVATION A-A

SCALE: 1/8" = 1'-0"

MATERIAL LIST

1. STONE VENEER BASE: PREMANUFACTURED STONE VENEER PER MANUFACTURER INSTALLATION SPECIFICATIONS.
2. METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL.
3. VINYL FLANGE WINDOW: INSULATED VINYL FLANGE WINDOW W/ 1" INSULATED GLASS.

CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW APPROVAL

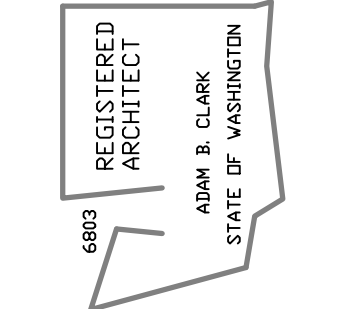
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: Nova Heaton, PE, Development Services Manager

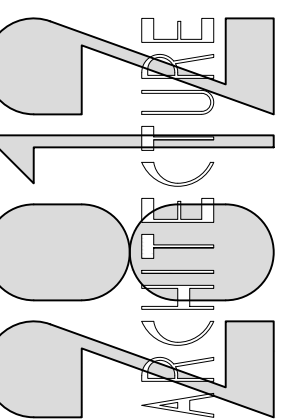
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Drawing: **A3.1**

SCALE HOUSE EXTERIOR ELEVATIONS & FLOOR PLAN